




BUSHFIRE RATING

1. MIN BAL 29 FOR ALL REPLACEMENT WORK FOR CLADDING, WINDOWS, DOORS, ROOF WORK AND BALCONIES.
2. REPLACEMENT WINDOWS WITH OPERABLE PARTS TO BE SCREENED.
3. NEW EXTERIOR DOORS TO THE NORTH AND WEST ELEVATIONS TO ACHIEVE BAL 29 RATING.
4. NEW ROOF OVER QUIET LOUNGE ROOF AND KITCHEN AREA TO BE CONSTRUCTED TO BAL 29.
5. ALL NEW WORK OR WORK THAT MODIFIES OPENINGS TO BE BAL F2.
6. REFER TO AS1530.8:2016 AND AS1530.8.2:2018 FOR WORKMANSHIP, PERFORMANCE AND MATERIALS.
7. REFER TO AS3950:2016 FOR CONSTRUCTION REQUIREMENTS.

LEGEND	
CO	CONCRETE FLOOR
CPT	CARPET
CT	TILES
FB	NEW FASCIA BOARD AND SOFFIT LINING
FCB	FACE CONCRETE BLOCKWORK
FEK	EXHAUST FAN (WALL MOUNTED)
FG	FIXED GLAZING
FH	FIRE HYDRANT
MBR	MEMBRANE ROOF
MCD	METAL CLADDING
MDR	METAL DECK ROOF
R1	RAILING TYPE 1
R2	RAILING TYPE 2
RCS	REINFORCED CONCRETE SLAB
	TO STRUCTURAL ENGINEER'S DETAILS
RB	RENDERED MASONRY
RSP	RENDER SET PLASTER FINISH
RWS	RETAINING WALL
SG	STONE GUARD/RETAINER
SP	STONE PAVING
SR	SERVICE RISER
STC	STONE CLADDING
TF	TIMBER FLOORING
W	WASTE PIPE/STACK
VP	VENT PIPE
	NEW WINDOW/GLAZED DOOR IN EXISTING OPENING
	NEW GLAZED DOOR IN EXISTING DOOR OPENING
	NEW DOOR IN EXISTING OPENING

85.15	NEW SPOT LEVEL
85.15	EXISTING SPOT LEVEL

WALL NOTES:

- A. EXISTING STUD WALL: REMOVE EXISTING CLADDING AN SUBSTRATE INCLUDING INSULATION, AND INSTALL NEW METAL CLADDING, 25 X 50 FIXING BATTENS, INSULATION AND SARKING.
- A. EXISTING STUD WALL: REMOVE EXISTING CLADDING AN SUBSTRATE AND REVIEW CONDITION OF INSULATION AND SARKING, AND INSTALL NEW METAL CLADDING, 25 X 50 FIXING BATTENS, INSULATION AND SARKING.
- B. TYPE A CLADDING AS SPECIFIED TYPE B CLADDING AND SARKING.
- D. REMOVE EXISTING CAPPING FROM TOP OF WALL AND REPLACE WITH NEW COLORBOND IN SPECIFIED COLOUR INSULT CAPPING IF NONE IN PLACE)
- E. INSULATE EXISTING STUD WALL TO WALL BEHIND NEW CLADDING (LOWER SECTION ONLY IF TWO TYPES OF CLADDING)
- F. ROOF THE LOWERS TO STRUCTURAL ENGINEER'S DETAIL, REMOVE LOWER SECTION OF TIMBER CLADDING AND SARKING AND INSTALL NEW METAL TOP HATS, SARKING AND METAL CLADDING. REPAINT EXISTING TIMBER

BCA SECTION J NOTES

- NEW ROOF AND CEILING CONSTRUCTION: INSTALL INSULATION TO PROVIDE A COMBINED ROOF AND CEILING R-VALUE WITH TOTAL THERMAL RESISTANCE OF PART 1.11(a).
- MODIFICATION TO PROVIDE A WALL SYSTEM WITH A THERMAL RESISTANCE OF R 2.0. PART 1.11(a) AND J1.5(d). ALL INSULATION SHALL BE COMPLYING WITH THE FOLLOWING:
 - FOR NEW WINDOWS: INSTALL WINDOWS WITH A TOTAL SYSTEM U-VALUE NO MORE THAN 4.6 W/m2 AND SHGC OF NO MORE THAN 0.40.
 - FOR ALL NEW OPENABLE WINDOWS AND DOORS (EXCEPT FOR FIRE DOORS) PROVIDE AIR SEALS ON ALL EDGES OR WINDOWS COMPLYING WITH THE FOLLOWING:
 - FOR NEW EXTERNAL DOORS PROVIDE DRAFT PROTECTION TO THE BOTTOM AND AIR SEALS TO OTHER EDGES. PART 1.54(a).
 - NEW EXHAUST FANS MUST BE EQUIPPED WITH SELF-CLOSING DAMPER OR SHUTTER.
 - NEW ROOFINGS, CEILINGS, WALLS, WINDOW AND DOOR FRAMES MUST BE ENCLOSED BY INTERNAL LINING SYSTEMS TO CLOSE FITTING TO THE WALLS AND FLOOR.
 - FLOOR JOINTS OR BE SEALED AT JOINTS AND PENETRATIONS BY CLOSE FITTING ARCHITECTURE, SKIRTING, CORNER TRIM, EXPANDING POLYURETHANE FOAM, FIRE CAULKING OR THE LIKE. THESE REQUIREMENTS DO NOT APPLY TO OPENINGS, GRILLES OR THE LIKE REQUIRED FOR VENTILATION AND MECHANICAL SYSTEMS.

H	16.01.23	AMENDED DA - BAL RATING NOTE AMENDED.
G	27.06.22	AMENDED DEVELOPMENT APPLICATION ISSUE: BUSHFIRE RATING FOR BUILDING AMENDED TO BAL2F FOR EAST FACED AND SOUTH FACED OF BUILDING 2.
	03.05.22	DEVELOPMENT APPLICATION ISSUE: NORTHERN ELEVATION BUILDING 2A AND SOUTHERN ELEVATION BUILDING 1) ADDED
	03.03.22	DEVELOPMENT APPLICATION ISSUE: SCOPE REDUCED - BUILDING 2 WINDING DOWN STAIRS AND CLADDING SCOPE REDUCED. STEEL ROOFS OVER STAIRS DELETED.
D	06.07.21	TENDER ISSUE
C	24.05.21	DEVELOPMENT APPLICATION ISSUE: STAGES DELETED, NOTES ADDED
B	05.03.21	DEVELOPMENT APPLICATION ISSUE: STAGES INDICATED
A	12.11.20	DEVELOPMENT APPLICATION ISSUE
	20.09.20	CLIENT/CONSULTANT ISSUE
	01.08.20	CLIENT/CONSULTANT ISSUE
	01.08.20	CLIENT/CONSULTANT ISSUE

POREBSKIARCHITECTS
ARCHITECTURE + INTERIORS + HERITAGE

**PROPOSED ALTERATIONS AT
SOUTHERN ALPS SKI CLUB LODGE
4 SPENCERS CREEK ROAD
CHARLOTTE PASS
LOT 107 DP 1242013**

FOR: SOUTHERN ALPS SKI CLUB

.....
Drawing

SITE PLAN

POREBSKIARCHITECTS Pty Ltd

Nominated Architect
Alex Heyko-Porebski (NSW 6877, ARBV 17667, BOAQ 553)

97 Rose Street Chippendale NSW 2008
Tel (02) 9310 1234 Fax (02) 9310 1266

Builders Contractors shall verify job dimensions before any work commences. All shop drawings shall be submitted to the Architect and manufacture shall not commence prior to the return of amended shop drawings. The Builder and Contractors shall coordinate all services prior to construction to ensure the order of installation and that sufficient space will be allowed for, for all services and structure. Refer to figured dimensions only. Do not scale from this drawing.

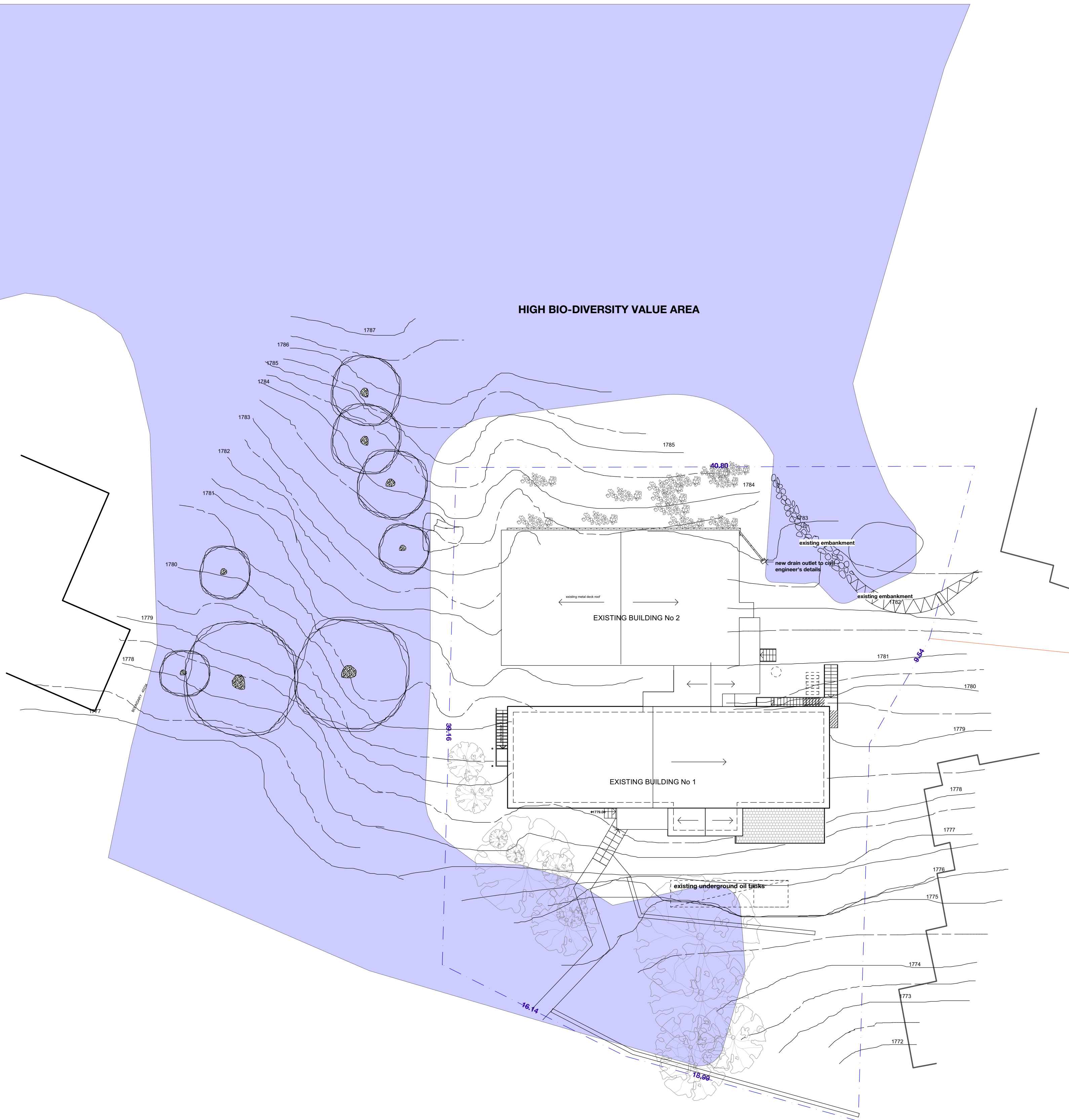
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NTS AT A3

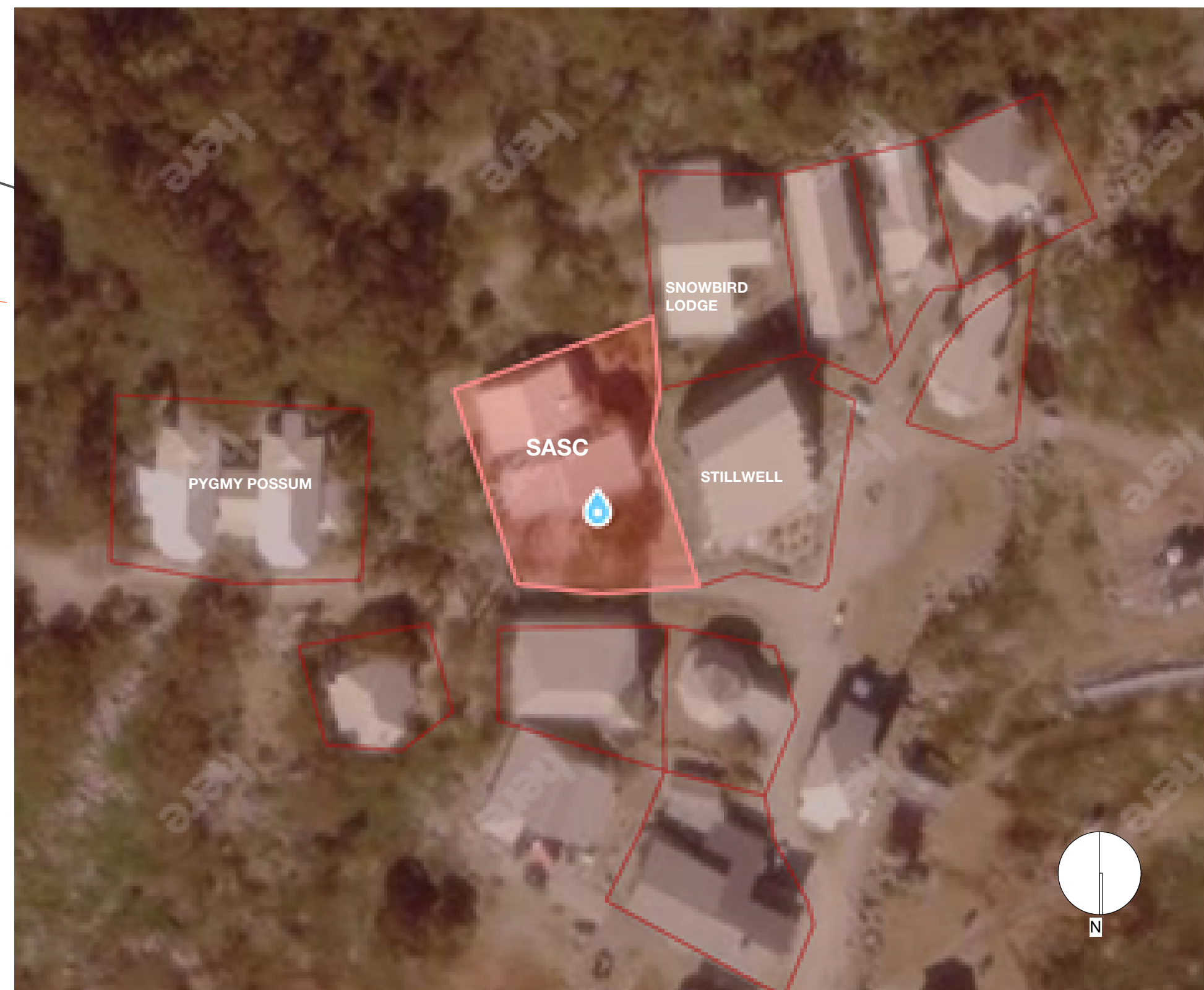
Project Architect	Date
AHP	SEPT 2020

Drawn	Checked
AHP	AHP

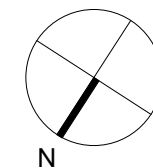
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602.A.01	H

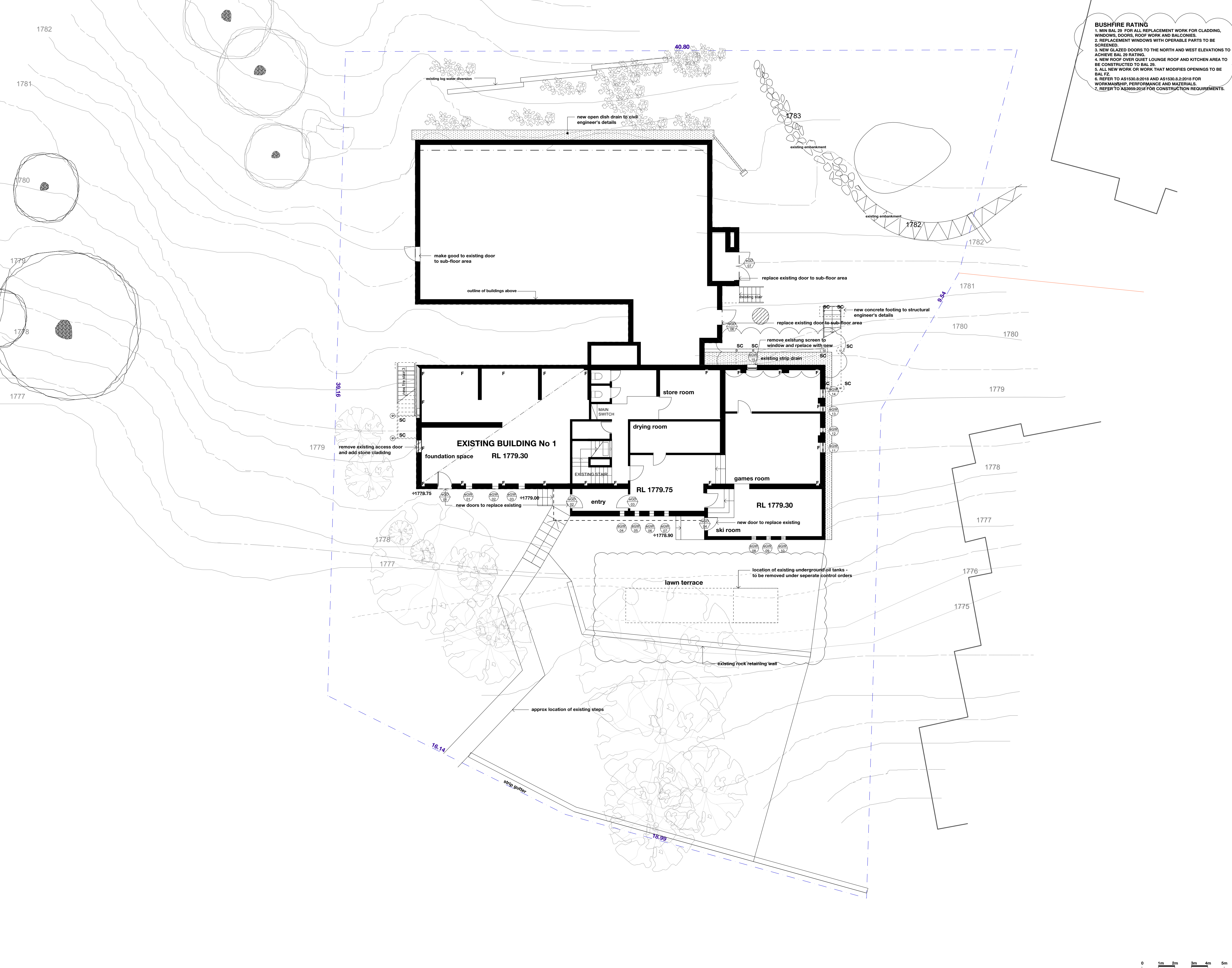


SITE PLAN



LOCATION PLAN





BUSHFIRE RATING

1. MIN BAL 29 FOR ALL REPLACEMENT WORK FOR CLADDING, WINDOWS, DOORS, ROOF WORK AND BALCONIES.

2. REPLACEMENT WINDOWS WITH OPERABLE PARTS TO BE SCREENED.

3. NEW GLAZED DOORS TO THE NORTH AND WEST ELEVATIONS TO ACHIEVE BAL 29 RATING.

4. NEW ROOF OVER QUIET LOUNGE ROOF AND KITCHEN AREA TO BE CONSTRUCTED TO BAL 29.

5. ALL NEW WORK OR WORK THAT MODIFIES OPENINGS TO BE BAL FZ.

6. REFER TO AS1530.8:2018 AND AS1530.8.2:2018 FOR WORKMANSHIP, PERFORMANCE AND MATERIALS.

7. REFER TO AS3959-2016 FOR CONSTRUCTION REQUIREMENTS.

LEGEND

CO	CONCRETE FLOOR
CPT	CARPET
CT	TILES
FB	NEW FASCIA BOARD AND SOFFIT LINING
FCB	FACE CONCRETE BLOCKWORK
FE	EXHAUST FAN (WALL MOUNTED)
FG	FIXED GLAZING
FH	FIRE HYDRANT
MBR	MEMBRANE ROOF
MCD	METAL CLADDING
MDR	METAL DECK ROOF
R1	RAILING TYPE 1
R2	RAILING TYPE 2
RCS	REINFORCED CONCRETE SLAB TO STRUCTURAL ENGINEER'S DETAILS
RB	RENDERED MASONRY
RSP	RENDER SET PLASTER FINISH
RWS	RETAINING WALL
SG	SNOW GUARD/RETAINER
SP	STONE PAVING
SR	SERVICE RISER
STC	STONE CLADDING
TF	TIMBER FLOORING
W	WASTE PIPE/STACK
VP	VENT PIPE
	NEW WINDOW/GLAZED DOOR IN EXISTING OPENING
	NEW GLAZED DOOR IN EXISTING DOOR OPENING
	NEW DOOR IN EXISTING OPENING

85.15 NEW SPOT LEVEL

85.15 EXISTING SPOT LEVEL

WALL NOTES:

A. EXISTING STUD WALL: REMOVE EXISTING CLADDING AND SUBSTRATE INCLUDING INSULATION, AND INSTALL NEW METAL CLADDING, 25 X 50 FIXING BATTENS, INSULATION AND SARKING AND SARKING.

Ar. EXISTING STUD WALL: REMOVE EXISTING CLADDING AND SUBSTRATE AND REVIEW CONDITION OF INSULATION AND SARKING, AND INSTALL NEW METAL CLADDING, 25 X 50 FIXING BATTENS, INSULATION AND SARKING.

A+. EXISTING MASONRY WALL: REMOVE EXISTING CLADDING AND SUBSTRATE AND INSTALL NEW METAL TOP HAT BATTENS, SARKING, AND METAL CLADDING.

B. TYPE A CLADDING AS SPECIFIED

C. TYPE B CLADDING AS SPECIFIED

D. REMOVE EXISTING CAPPING FROM TOP OF WALL AND REPLACE WITH NEW COLORBOND IN SPECIFIED COLOUR (INSTALL CAPPING IF NONE IN PLACE)

E. INSTALL INSULATED WALL PANEL TO WALL BEHIND NEW CLADDING (LOWER SECTION ONLY IF TWO TYPES OF CLADDING)

F. ROOF TIE DOWNS TO STRUCTURAL ENGINEER'S DETAILS

G. REMOVE LOWER SECTION OF TIMBER CLADDING AND SARKING AND INSTALL NEW METAL TOP HATS, SARKING AND METAL CLADDING. REPAINT EXISTING TIMBER CLADDING THAT IS TO REMAIN.

BCA SECTION J NOTES

1. NEW ROOF AND CEILING CONSTRUCTION: INSTALL INSULATION TO PROVIDE A COMBINED ROOF AND CEILING SYSTEM WITH TOTAL THERMAL RESISTANCE OF R 4.8 PART J1.1(a).

2. MODIFIED EXTERNAL WALLS: INSTALL ADDITIONAL INSULATION TO PROVIDE A WALL SYSTEM WITH A TOTAL THERMAL RESISTANCE OF R 2.0, PART J1.5(a) AND J1.5(d). ALL INSULATION MUST COMPLY WITH AS/NZS 4859.1:2018.

3. FOR NEW WINDOWS: INSTALL WINDOWS WITH A TOTAL SYSTEM U-VALUE NO MORE THAN 4.6 W/m2 AND SHGC OF NO MORE THAN 0.74, PART J1.5(c).

4. FOR ALL NEW OPERABLE WINDOWS AND DOORS (EXCEPT FOR FIRE DOORS) PROVIDE AIR SEALS ON ALL EDGES OR WINDOWS COMPLYING WITH AS 2047, PART J3.4(a,b,c).

5. FOR NEW EXTERNAL DOORS PROVIDE DRAFT PROTECTION TO THE BOTTOM AND AIR SEALS TO OTHER EDGES, PART J3.4(c).

6. NEW EXHAUST FANS MUST BE EQUIPPED WITH SELF CLOSING DAMPER OR SIMILAR.

7. NEW ROOFS, CEILINGS, WALLS, WINDOW AND DOOR FRAMES MUST BE ENCLOSED BY INTERNAL LINING SYSTEMS THAT ARE CLOSE FITTING AT CEILING, WALL AND FLOOR JUNCTIONS OR BE SEALED AT JUNCTIONS AND PENETRATIONS BY CLOSE FITTING ARCHITRAVE, SKIRTING, CORNICE, EXPANDING FOAM, RUBBER COMPRESSIBLE STRIP, CAULKING OR THE LIKE. THESE REQUIREMENTS DO NOT APPLY TO OPENINGS, GRILLES OR THE LIKE REQUIRED FOR SMOKE HAZARD MANAGEMENT.

H	20.02.23	AMENDED DA-BAL RATING NOTE AMENDED - BAL RATING REDUCED, OIL TANK TO BE REMOVED LOCATION NOTED. EXISTING PLANTING UPDATED, NOTES ADDED.
G	27.08.22	AMENDED DEVELOPMENT APPLICATION ISSUE: BUSHFIRE RATING FOR BUILDING AMENDED TO BAL FZ FOR EAST FACADE AND SOUTH FACADE OF BUILDING 2.
F	03.08.22	DEVELOPMENT APPLICATION ISSUE: NORTHERN ELEVATION (BUILDING 2) AND SOUTHERN ELEVATION (BUILDING 1) ADDED.
E	03.03.22	DEVELOPMENT APPLICATION ISSUE: SCOPE REDUCED - BUILDING 2 WINDOWS TO REMAIN AND CLADDING SCOPE REDUCED. STEEL ROOFS OVER STAIRS DELETED.
D	06.07.21	TENDER ISSUE.
C	24.06.21	DEVELOPMENT APPLICATION ISSUE: STAGES DELETED, NOTES ADDED.
B	05.03.21	DEVELOPMENT APPLICATION ISSUE: STAGES INDICATED.
A	12.11.20	DEVELOPMENT APPLICATION ISSUE.
2	20.09.20	CLIENT/CONSULTANT ISSUE.
1	20.09.20	CLIENT/CONSULTANT ISSUE.

Issue Date Amendment

POREBSKI ARCHITECTS

ARCHITECTURE • INTERIORS • HERITAGE

Project: **PROPOSED ALTERATIONS AT SOUTHERN ALPS SKI CLUB LODGE 4 SPENCERS CREEK ROAD CHARLOTTE PASS LOT 107 DP 1242013**

FOR: SOUTHERN ALPS SKI CLUB

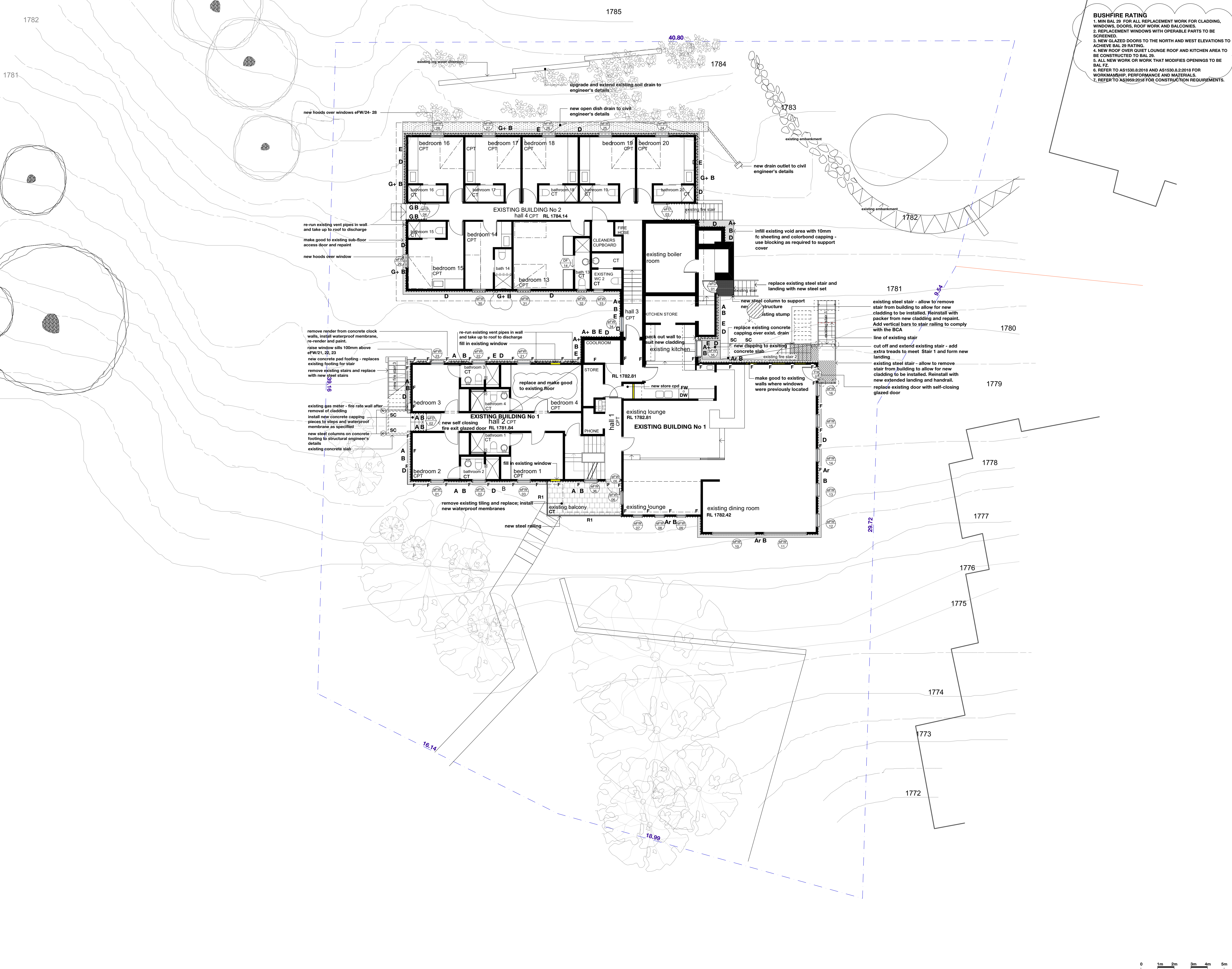
Drawing: **GROUND/ENTRY FLOOR PLAN**

Scale: 1:100/ 1:200 AT A3

Project Architect: **AHP** Date: **SEPT 2020**

Drawn: **AHP** Checked: **AHP**

Drawing No: **602.A.02** Issue: **H**



BUSHFIRE RATING
1. MIN BAL 29 FOR ALL REPLACEMENT WORK FOR CLADDING, WINDOWS, DOORS, ROOF WORK AND BALCONIES.
2. REPLACEMENT WINDOWS WITH OPERABLE PARTS TO BE SCREENED.
3. NEW GLAZED DOORS TO THE NORTH AND WEST ELEVATIONS TO ACHIEVE BAL 29 RATING.
4. NEW ROOF OVER QUIET LOUNGE ROOF AND KITCHEN AREA TO BE CONSTRUCTED TO BAL 29.
5. ALL NEW WORK OR WORK THAT MODIFIES OPENINGS TO BE BAL FZ.
6. REFER TO AS1530.8:2018 AND AS1530.8.2:2018 FOR WORKMANSHIP, PERFORMANCE AND MATERIALS.
7. REFER TO AS3959:2016 FOR CONSTRUCTION REQUIREMENTS.

CO	CONCRETE FLOOR
CPT	CARPET
CT	TILES
FB	NEW FASCIA BOARD AND SOFFIT LINING
FCB	FACE CONCRETE BLOCKWORK
FEH	EXHAUST FAN (WALL MOUNTED)
FG	FIXED GLAZING
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R1	RAILING TYPE 1
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RCS	REINFORCED CONCRETE SLAB TO STRUCTURAL ENGINEER'S DETAILS
RB	RENDERED MASONRY
RSP	RENDER SET PLASTER FINISH
RWS	RETAINING WALL
SG	SNOW GUARD/RETAINER
SP	STONE PAVING
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STC	STONE CLADDING
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W	WASTE PIPE/STACK
VP	VENT PIPE
	NEW WINDOW/GLAZED DOOR IN EXISTING OPENING
	NEW GLAZED DOOR IN EXISTING DOOR OPENING
	NEW DOOR IN EXISTING OPENING

85.15 NEW SPOT LEVEL
85.15 EXISTING SPOT LEVEL

WALL NOTES:

- A. EXISTING STUD WALL: REMOVE EXISTING CLADDING AND SUBSTRATE INCLUDING INSULATION, AND INSTALL NEW METAL CLADDING, 25 X 50 FIXING BATTENS, INSULATION AND SARKING.
- Ar. EXISTING STUD WALL: REMOVE EXISTING CLADDING AND SUBSTRATE AND REVIEW CONDITION OF INSULATION AND SARKING, AND INSTALL NEW METAL CLADDING, 25 X 50 FIXING BATTENS, INSULATION AND SARKING.
- A+. EXISTING MASONRY WALL: REMOVE EXISTING CLADDING AND SUBSTRATE AND INSTALL NEW METAL TOP HAT BATTENS, SARKING, AND METAL CLADDING.
- B. TYPE A CLADDING AS SPECIFIED
- C. TYPE B CLADDING AS SPECIFIED
- D. REMOVE EXISTING CAPPING FROM TOP OF WALL AND REPLACE WITH NEW COLORBOND IN SPECIFIED COLOUR (INSTALL CAPPING IF NONE IN PLACE)
- E. INSTALL INSULATED WALL PANEL TO WALL BEHIND NEW CLADDING (LOWER SECTION ONLY IF TWO TYPES OF CLADDING)
- F. ROOF TIE DOWNS TO STRUCTURAL ENGINEER'S DETAILS
- G. REMOVE LOWER SECTION OF TIMBER CLADDING AND SARKING AND INSTALL NEW METAL TOP HATS, SARKING AND METAL CLADDING. REPAINT EXISTING TIMBER CLADDING THAT IS TO REMAIN.

BCA SECTION J NOTES

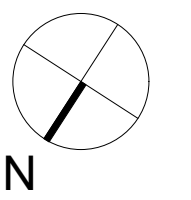
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- 2. MODIFIED EXTERNAL WALLS: INSTALL ADDITIONAL INSULATION TO PROVIDE A WALL SYSTEM WITH A TOTAL THERMAL RESISTANCE OF R 2.0, PART J1.5(a) AND J1.5(d). ALL INSULATION MUST COMPLY WITH AS/NZS 4859.1:2018.
- 3. FOR NEW WINDOWS: INSTALL ALL WINDOWS WITH A TOTAL SYSTEM U-VALUE NO MORE THAN 4.6 W/m2 AND SHGC OF NO MORE THAN 0.74, PART J1.5(c).
- 4. FOR ALL NEW OPERABLE WINDOWS AND DOORS (EXCEPT FOR FIRE DOORS) PROVIDE AIR SEALS ON ALL EDGES OR WINDOWS COMPLYING WITH AS 2047, PART J3.4(a,b,c).
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- 6. NEW EXHAUST FANS MUST BE EQUIPPED WITH SELF CLOSING DAMPER OR SIMILAR.
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I	16.01.22	AMENDED DA-BAL RATING NOTE AMENDED.
H	23.08.22	AMENDED DEVELOPMENT APPLICATION ISSUE: SOIL DRAINAGE ADDED TO SOUTH AREA OF SITE
G	27.08.22	AMENDED DEVELOPMENT APPLICATION ISSUE: BUSHFIRE RATING FOR BUILDING AMENDED TO BAL FZ FOR EAST FACADE AND SOUTH FACADE OF BUILDING 2
F	03.08.22	DEVELOPMENT APPLICATION ISSUE: NORTHERN ELEVATION (BUILDING 2 AND SOUTHERN ELEVATION (BUILDING 1) ADDED
E	03.03.22	DEVELOPMENT APPLICATION ISSUE: SCOPE REDUCED - BUILDING 2 WINDOWS TO REMAIN AND CLADDING SCOPE REDUCED. STEEL ROOFS OVER STAIRS DELETED.
D	06.07.21	TENDER ISSUE
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1	20.09.20	CLIENT/CONSULTANT ISSUE

POREBSKI ARCHITECTS
ARCHITECTURE • INTERIORS • HERITAGE

Project:
PROPOSED ALTERATIONS AT SOUTHERN ALPS SKI CLUB LODGE
4 SPENCERS CREEK ROAD
CHARLOTTE PASS
LOT 107 DP 1242013

FOR: SOUTHERN ALPS SKI CLUB
Drawing:
FIRST FLOOR PLAN



POREBSKI ARCHITECTS Pty Ltd
Nominated Architect
Alex Heyko-Porebski (NSW 6877, AREV 17687, BDAQ 5533)

97 Ross Street Chippendale NSW 2008
Tel (02) 9310 1234 Fax (02) 9310 1256
Builders/Contractors shall verify job dimensions before any work commences. All shop drawings shall be submitted to the Architect and manufacture shall not commence prior to the return of amended shop drawings. The Builder and Contractors shall coordinate all services prior to construction to ensure the order of installation and that sufficient space will be allowed for, for all services and structure. Refer to figured dimensions only. Do not scale from this drawing.

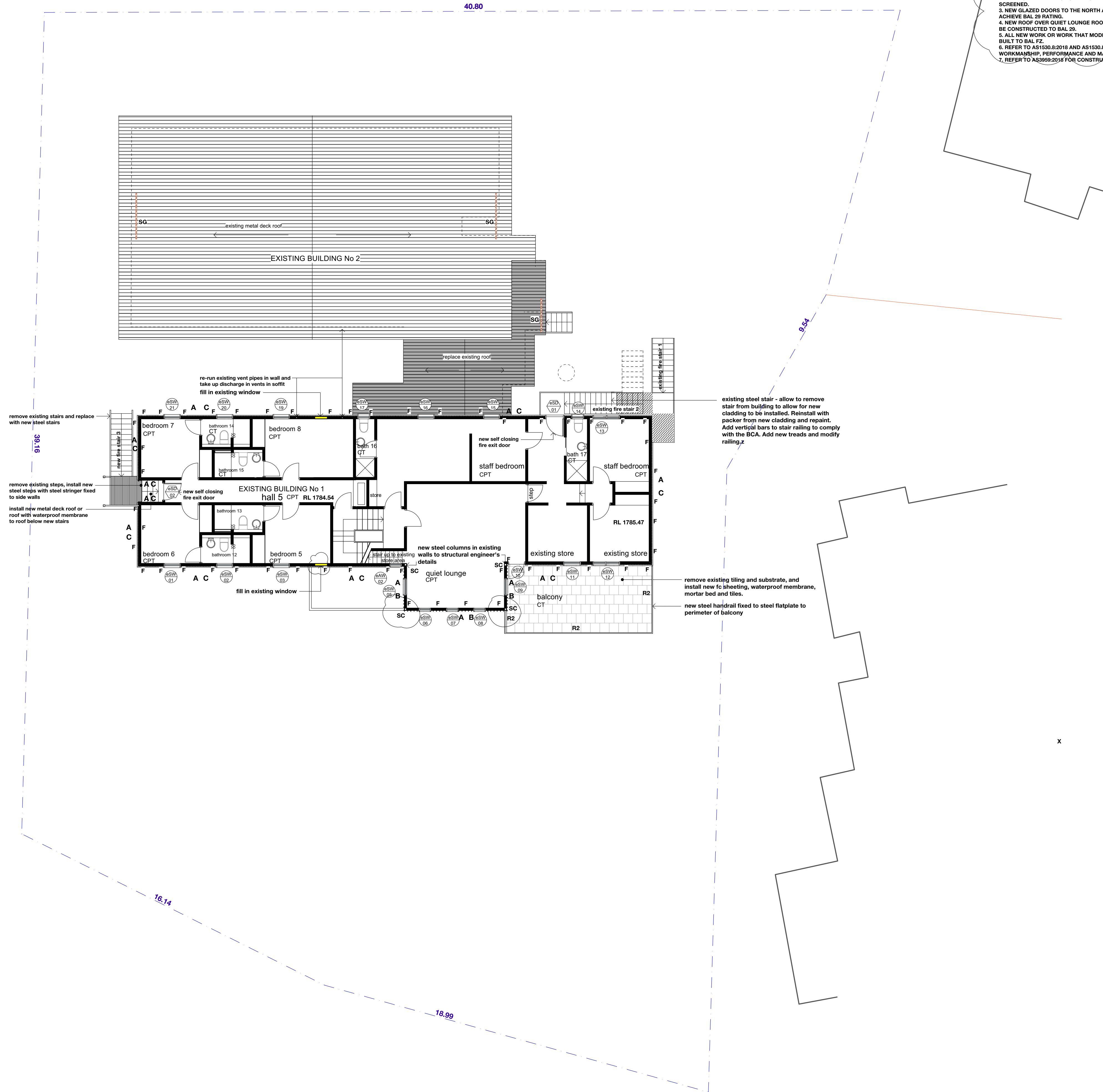
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1:100/
1:200 AT A3

Project Architect Date
AHP SEPT 2020

Drawn Checked
AHP AHP

Drawing No Issue
602.A.03 1





BUSHFIRE RATING
1. MIN BAL 29 FOR ALL REPLACEMENT WORK FOR CLADDING, WINDOWS, DOORS, ROOF WORK AND BALCONIES.
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6. REFER TO AS1530.8:2018 AND AS1530.8.2:2018 FOR WORKMANSHIP, PERFORMANCE AND MATERIALS.
7. REFER TO AS3959:2016 FOR CONSTRUCTION REQUIREMENTS.

LEGEND	
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FB	NEW FASCIA BOARD AND SOFFIT LINING
FCB	FACE CONCRETE BLOCKWORK
FEK	EXHAUST FAN (WALL MOUNTED)
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R1	RAILING TYPE 1
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85.15 NEW SPOT LEVEL
85.15 EXISTING SPOT LEVEL

WALL NOTES:

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B. TYPE A CLADDING AS SPECIFIED
C. TYPE B CLADDING AS SPECIFIED
D. REMOVE EXISTING CAPPING FROM TOP OF WALL AND REPLACE WITH NEW COLORBOND IN SPECIFIED COLOUR (INSTALL CAPPING IF NONE IN PLACE)
E. INSTALL INSULATED WALL PANEL TO WALL BEHIND NEW CLADDING (LOWER SECTION ONLY IF TWO TYPES OF CLADDING)
F. ROOF TIE DOWNS TO STRUCTURAL ENGINEER'S DETAILS
G. REMOVE LOWER SECTION OF TIMBER CLADDING AND SARKING AND INSTALL NEW METAL TOP HATS, SARKING AND METAL CLADDING. REPAINT EXISTING TIMBER CLADDING THAT IS TO REMAIN.

BCA SECTION J NOTES

1. NEW ROOF AND CEILING CONSTRUCTION: INSTALL INSULATION TO PROVIDE A COMBINED ROOF AND CEILING SYSTEM WITH TOTAL THERMAL RESISTANCE OF R 4.8 PART J1.1(a).
2. MODIFIED EXTERNAL WALLS: INSTALL ADDITIONAL INSULATION TO PROVIDE A WALL SYSTEM WITH A TOTAL THERMAL RESISTANCE OF R 2.0, PART J1.5(a) AND J1.5(d). ALL INSULATION MUST COMPLY WITH AS/NZS 4859.1:2018.
3. FOR NEW WINDOWS: INSTALL WINDOWS WITH A TOTAL SYSTEM U-VALUE NO MORE THAN 4.6 W/m2 AND SHGC OF NO MORE THAN 0.74, PART J1.5(c).
4. FOR ALL NEW OPERABLE WINDOWS AND DOORS (EXCEPT FOR FIRE DOORS) PROVIDE AIR SEALS ON ALL EDGES OR WINDOWS COMPLYING WITH AS 2047, PART J3.4(a,b,c).
5. FOR NEW EXTERNAL DOORS PROVIDE DRAFT PROTECTION TO THE BOTTOM AND AIR SEALS TO OTHER EDGES, PART J3.4(c).
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POREBSKI ARCHITECTS

Project:
**PROPOSED ALTERATIONS AT
SOUTHERN ALPS SKI CLUB LODGE
4 SPENCERS CREEK ROAD
CHARLOTTE PASS
LOT 107 DP 1242013**

FOR: SOUTHERN ALPS SKI CLUB
Drawing:

SECOND FLOOR PLAN

POREBSKI ARCHITECTS Pty Ltd
Nominated Architect
Alex Heyko-Porebski (NSW 6877, AREV 17687, DOAQ 5533)

97 Ross Street Chippendale NSW 2008
Tel (02) 9310 1234 Fax (02) 9310 1266

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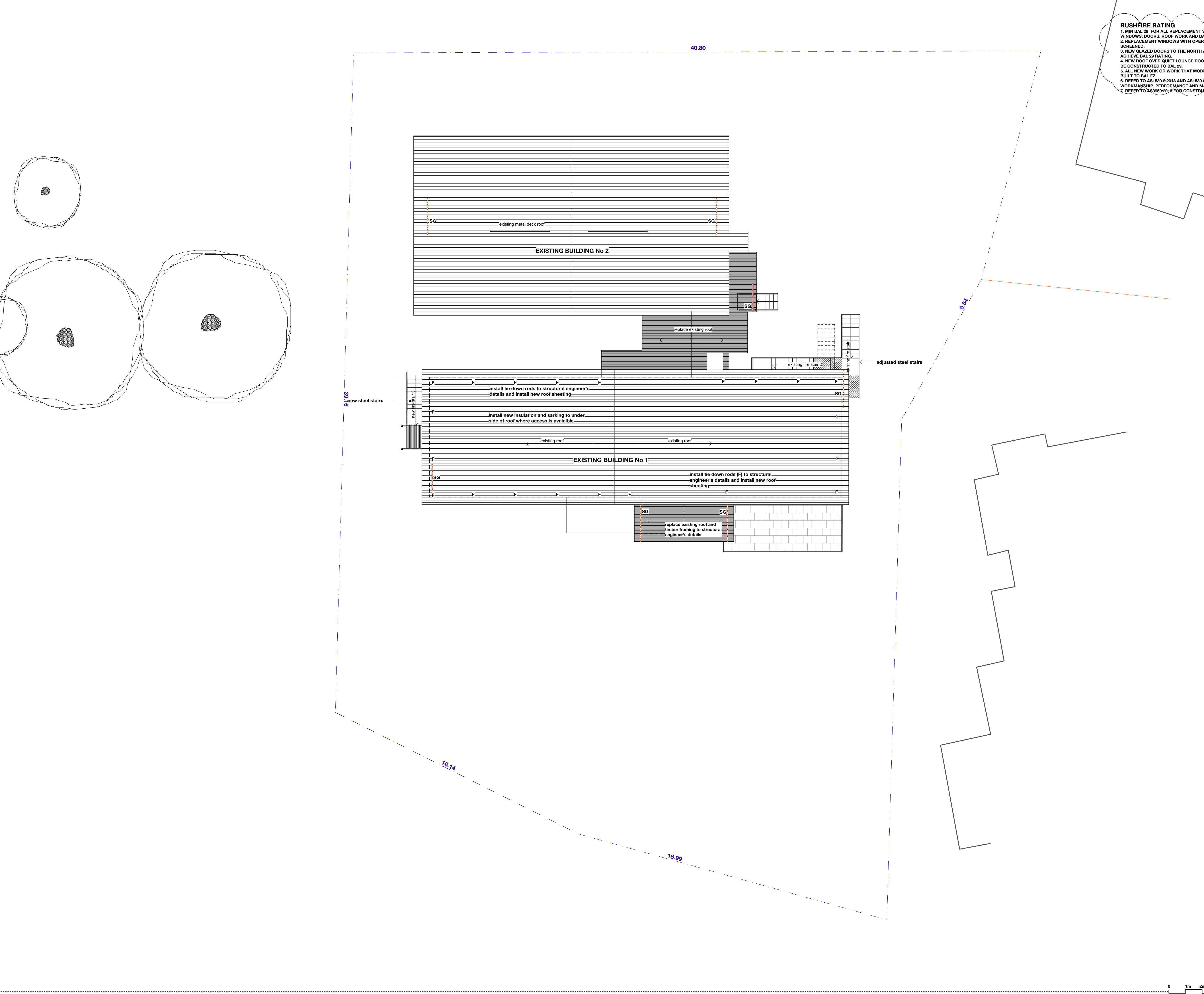
Scale
1:100/
1:200 AT A3

Project Architect Date
AHP SEPT 2020

Drawn Checked
AHP AHP

Drawing No Issue
602.A.04 H





BUSHFIRE RATING
1. MIN BAL 29 FOR ALL REPLACEMENT WORK FOR CLADDING, WINDOWS, DOORS, ROOF WORK AND BALCONIES.
2. REPLACEMENT WINDOWS WITH OPERABLE PARTS TO BE SCREENED.
3. NEW GLAZED DOORS TO THE NORTH AND WEST ELEVATIONS TO ACHIEVE BAL 29 RATING.
4. NEW ROOF OVER QUIET LOUNGE ROOF AND KITCHEN AREA TO BE CONSTRUCTED TO BAL 29.
5. ALL NEW WORK OR WORK THAT MODIFIES OPENINGS TO BE BUILT TO BAL FZ.
6. REFER TO AS1530.8:2018 AND AS1530.8.2:2018 FOR WORKMANSHIP, PERFORMANCE AND MATERIALS.
7. REFER TO AS3959:2016 FOR CONSTRUCTION REQUIREMENTS.

LEGEND	
CO	CONCRETE FLOOR
CPT	CARPET
CT	TILES
FB	NEW FASCIA BOARD AND SOFFIT LINING
FCB	FACE CONCRETE BLOCKWORK
FEX	EXHAUST FAN (WALL MOUNTED)
FG	FIXED GLAZING
FH	FIRE HYDRANT
MBR	MEMBRANE ROOF
MCD	METAL CLADDING
MDR	METAL DECK ROOF
R1	RAILING TYPE 1
R2	RAILING TYPE 2
RCS	REINFORCED CONCRETE SLAB TO STRUCTURAL ENGINEER'S DETAILS
RB	RENDERED MASONRY
RSP	RENDER SET PLASTER FINISH
RWS	RETAINING WALL
SG	SNOW GUARD/RETAINER
SP	STONE PAVING
SR	SERVICE RISER
STC	STONE CLADDING
TF	TIMBER FLOORING
W	WASTE PIPE/STACK
VP	VENT PIPE
	NEW WINDOW/GLAZED DOOR IN EXISTING OPENING
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85.15 NEW SPOT LEVEL
85.15 EXISTING SPOT LEVEL

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F. ROOF TIE DOWNS TO STRUCTURAL ENGINEER'S DETAILS
G. REMOVE LOWER SECTION OF TIMBER CLADDING AND SARKING AND INSTALL NEW METAL TOP HATS, SARKING AND METAL CLADDING. REPAIR EXISTING TIMBER CLADDING THAT IS TO REMAIN.

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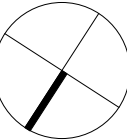
POREBSKI ARCHITECTS
ARCHITECTURE • INTERIORS • HERITAGE

Project:
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4 SPENCERS CREEK ROAD
CHARLOTTE PASS
LOT 107 DP 1242013**

FOR: SOUTHERN ALPS SKI CLUB

Drawing:

ROOF PLAN



POREBSKI ARCHITECTS Pty Ltd
Nominated Architect
Alex Heyko-Porebski (NSW 6877, AREV 17867, BQAQ 5533)

97 Ross Street Chippendale NSW 2008
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1:200 AT A3

Project Architect Date
AHP **SEPT 2020**

Drawn Checked
AHP **AHP**

Drawing No Issue
602.A.05 **H**



ridge building 1 RL 1789.63

ridge building 2 RL 1788.69

bedrooms building 2 RL 1784.14

SOUTHERN ELEVATION (BUILDING 2)

ridge building 1 RL 1789.63

ridge building 2 RL 1788.69

bedrooms building 2 RL 1784.14

NORTHERN ELEVATION (BUILDING 2)

ridge building 1 RL 1789.63

store rooms RL 1787.35

upper lounge RL 1785.77

staff bedroom RL 1785.47

upper bedrooms RL 1784.54

bedrooms building 2 RL 1784.14

lounge room RL 1782.81

dining room RL 1782.42

bedrooms RL 1781.84

entry RL 1779.75

store room RL 1779.30

SOUTHERN ELEVATION (BUILDING 1)

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store rooms RL 1787.35

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NORTHERN ELEVATION (BUILDING 1)

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Issue Date Amendment

POREBSKI ARCHITECTS

Project:
PROPOSED ALTERATIONS AT SOUTHERN ALPS SKI CLUB LODGE
4 SPENCERS CREEK ROAD
CHARLOTTE PASS
LOT 107 DP 1242013

FOR: SOUTHERN ALPS SKI CLUB
Drawing:

SOUTHERN ELEVATION
NORTHERN ELEVATION

POREBSKI ARCHITECTS Pty Ltd
Nominated Architect
Alex Heyko-Porebski (NSW 6877, AREV 17687, BQAQ 5533)

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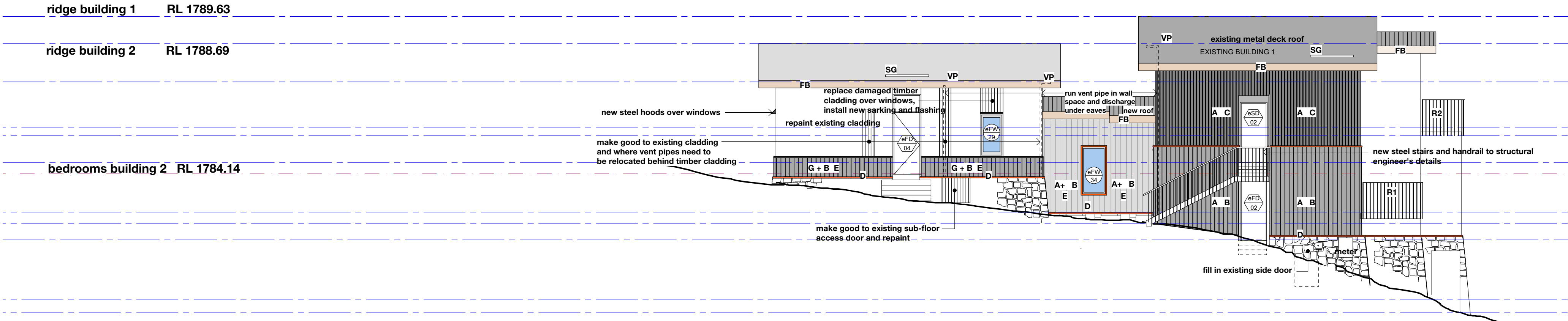
Drawing No Issue
602.A.06 H



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ridge building 2 RL 1788.69

bedrooms building 2 RL 1784.14



EASTERN ELEVATION

ridge building 1 RL 1789.63

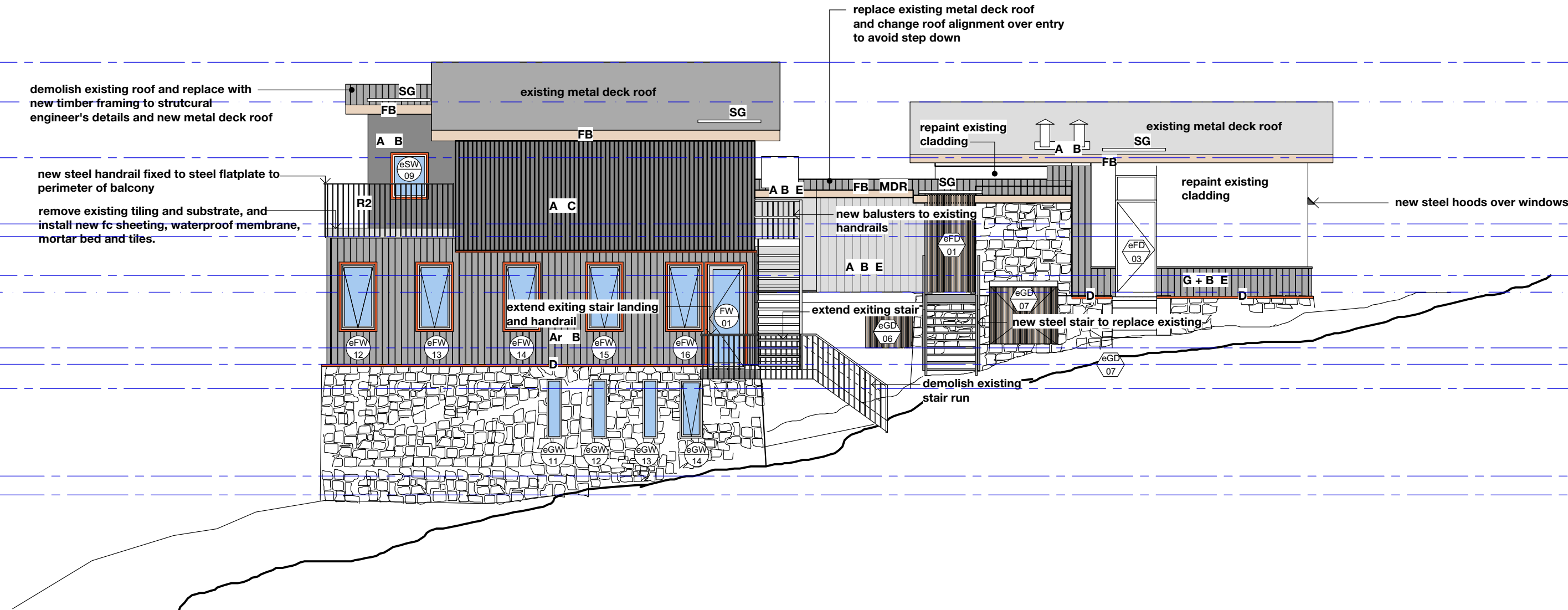
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WESTERN ELEVATION

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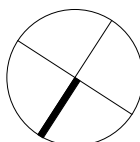
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CHARLOTTE PASS
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FOR: SOUTHERN ALPS SKI CLUB

Drawing:

EASTERN ELEVATION
WESTERN ELEVATION



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602.A.07 H

0 1m 2m 3m 4m 5m