

SITE PLAN

LOCATION PLAN

	1. MIN BAL WINDOWS 2. REPLAC SCREENEL 3. NEW GL ACHIEVE B 4. NEW RO BE CONST 5. ALL NEV BAL FZ. 6. REFER T WORKMAN	, DOORS, ROOF EMENT WINDO ). AZED DOORS T AAL 29 RATING. OF OVER QUIE' RUCTED TO BA V WORK OR WC 'O AS1530.8:2011 45HIP, PERFOR	EPLACEMENT W WORK AND BAI WS WITH OPERA O THE NORTH A T LOUNGE ROOF L 29. ORK THAT MODIF 8 AND AS1530.8. MANCE AND MA	ABLE PARTS TO E ND WEST ELEVA AND KITCHEN A FIES OPENINGS T .2:2018 FOR	BE TIONS TO AREA TO TO BE
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LEGEND

CO CONCRETE FLOOR CPT CARPET CT TILES NEW FASCIA BOARD AND SOFFIT LINING FB FCB FACE CONCRETE BLOCKWORK FEX EXHAUST FAN (WALL MOUNTED) FG FIXED GLAZING FH FIRE HYDRANT MBR MEMBRANE ROOF MCD METAL CLADDING MDR METAL DECK ROOF **RAILING TYPE 1** R1 R2 RAILING TYPE 2 RCS REINFORCED CONCRETE SLAB TO STRUCTURAL ENGINEER'S DETAILS RB RENDERED MASONRY RSP RENDER SET PLASTER FINISH RWSRETAINING WALLSGSNOW GUARD/RETAINER STONE PAVING SP SR SERVICE RISER STC STONE CLADDING TIMBER FLOORING WASTE PIPE/STACK VENT PIPE VP NEW WINDOW/GLAZED DOOR IN EXISTING OPENING NEW GLAZED DOOR IN EXISTING DOOR OPENING

eDF NEW DOOR IN EXISTING OPENING

85.15 NEW SPOT LEVEL

a5.15 EXISTING SPOT LEVEL

WALL NOTES:

EXISTING STUD WALL: REMOVE EXISTING CLADDING AND SUBSTRATE INCLUDING INSULATION. AND INSTALL NEW METAL CLADDING, 25 X 50 FIXING BATTENS, INSULATION AND SARKING

r. EXISTING STUD WALL: REMOVE EXISTING CLADDING AND UBSTRATE AND REVIEW CONDITION OF INSULATION AND SARKING, AND INSTALL NEW METAL CLADDING, 25 X 50 FIXING BATTENS, INSULATION AND SARKING A+. EXISTING MASONRY WALL: REMOVE EXISTING CLADDING AND SUBSTRATE AND INSTALL NEW METAL TOP HAT

BATTENS, SARKING, AND METAL CLADDING. . TYPE A CLADDING AS SPECIFIED

TYPE B CLADDING AS SPECIFIED

D. REMOVE EXISTING CAPPING FROM TOP OF WALL AND REPLACE WITH NEW COLORBOND IN SPECIFIED COLOUR INSTALL CAPPING IF NONE IN PLACE) INSTALL INSULATED WALL PANEL TO WALL BEHIND NEW

LADDING (LOWER SECTION ONLY IF TWO TYPES OF LADDING)

ROOF TIE DOWNS TO STRUCTURAL ENGINEER'S DETAILS REMOVE LOWER SECTION OF TIMBER CLADDING AND SARKING AND INSTALL NEW METAL TOP HATS. SARKING AND METAL CLADDING. REPAINT EXISTING TIMBER LADDING THAT IS TO REMAIN.

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1. NEW ROOF AND CEILING CONSTRUCTION: INSTALL INSULATION TO PROVIDE A COMBINED ROOF AND CEILING SYSTEM WITH TOTAL THERMAL RESISTANCE OF R 4.8 PART

J1.1(a). 2. MODIFIED EXTERNAL WALLS: INSTALL ADDITIONAL INSULATION TO PROVIDE A WALL SYSTEM WITH A TOTAL THERMAL RESISTANCE OF R 2.0. PART J1.5(a) AND J1.5(d). ALL

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÷н	16.01.23	AMENDED DA: BAL RATING NOTE AMENDED.
G	27.06.22	AMENDED DEVELOPMENT APPLICATION ISSUE: BUSHFIRE
		RATING FOR BUILDING AMENDED TO BALFZ FOR EAST
		FACADE AND SOUTH FACADE OF BUILDING 2.
F	03.05.22	DEVELOPMENT APPLICATION ISSUE: NORTHERN
		ELEVATION (BUILDING 2) AND SOUTHERN ELEVATION
		(BUILDING 1) ADDED
E	03.03.22	<b>DEVELOPMENT APPLICATION ISSUE: SCOPE REDUCED -</b>
		BUILDING 2 WINDOWS TO REMAIN AND CLADDING
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D	06.07.21	TENDER ISSUE
с	24.06.21	DEVELOPMENT APPLICATION ISSUE: STAGES DELETED,
		NOTES ADDED
в	05.03.21	DEVELOPMENT APPLICATION ISSUE: STAGES INDICATED
Α	12.11.20	DEVELOPMENT APPLICATION ISSUE
2	30.09.20	CLIENT/CONSULTANT ISSUE
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#### **POREBSKI**ARCHITECTS ARCHITECTURE + INTERIORS + HERITAGE

Project: PROPOSED ALTERATIONS AT SOUTHERN ALPS SKI CLUB LODGE **4 SPENCERS CREEK ROAD** CHARLOTTE PASS LOT 107 DP 1242013

FOR: SOUTHERN ALPS SKI CLUB Drawing:

SITE PLAN

POREBSKIARCHITEOTS Pty Ltd

Nominated Architect Alex Heyko-Porebski (NSW 6877, ARBV 17667,BOAQ 5533)

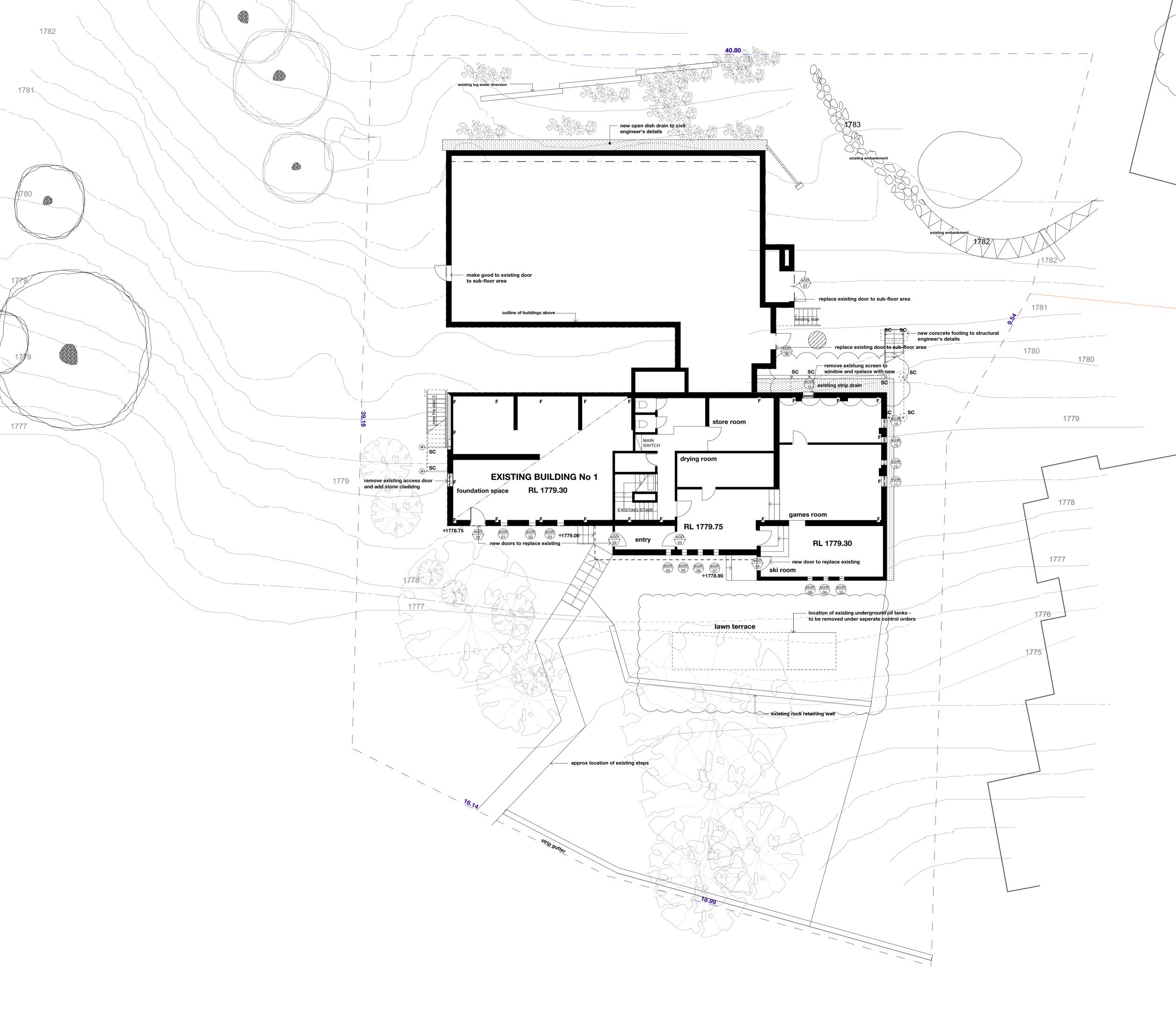
97 Rose Street Chippendale NSW 2008 Tel (02) 9310 1234 Fax (02) 9310 1266

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#### Scale 1:200/

NTS AT A3 Date Project Architect SEPT 2020 AHP Checked Drawn AHP AHP Issue

Drawing No	Issue
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 MIN BAL 29 FOR ALL REPLACEMENT WORK FOR CLADDING, WINDOWS, DOORS, ROOF WORK AND BALCONIES.
 REPLACEMENT WINDOWS WITH OPERABLE PARTS TO BE SCREENED.
 NEW GLAZED DOORS TO THE NORTH AND WEST ELEVATIONS TO ACHIEVE BAL 29 RATING.
 NEW ROOF OVER QUIET LOUNGE ROOF AND KITCHEN AREA TO BE CONSTRUCTED TO BAL 29.

5. ALL NEW WORK OR WORK THAT MODIFIES OPENINGS TO BE BAL FZ. 6. REFER TO AS1530.8:2018 AND AS1530.8.2:2018 FOR

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LEGEND

КСРТ

CO CONCRETE FLOOR

CARPET

Ст TILES NEW FASCIA BOARD AND SOFFIT LINING FB FACE CONCRETE BLOCKWORK FCB FEX EXHAUST FAN (WALL MOUNTED) FIXED GLAZING FG FH FIRE HYDRANT MBR MEMBRANE ROOF MCD METAL CLADDING MDR METAL DECK ROOF R1 RAILING TYPE 1 R2 RAILING TYPE 2 RCS REINFORCED CONCRETE SLAB TO STRUCTURAL ENGINEER'S DETAILS RB RENDERED MASONRY RSP RENDER SET PLASTER FINISH RWS RETAINING WALL SG SP SNOW GUARD/RETAINER STONE PAVING SR SERVICE RISER STC STONE CLADDING TF TIMBER FLOORING WASTE PIPE/STACK w VP VENT PIPE NEW WINDOW/GLAZED DOOR IN EXISTING OPENING NEW GLAZED DOOR IN EXISTING DOOR OPENING WF NEW DOOR IN EXISTING OPENING

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н	20.02.23	AMENDED DA: BAL RATING NOTE AMENDED - BAL RATING REDUCED, OIL TANK TO BE REMOVED LOCATION NOTED.
G	27.06.22	EXISTING PLANTING UPDATED. NOTES ADDED. AMENDED DEVELOPMENT APPLICATION ISSUE: BUSHFIRE
G	27.00.22	RATING FOR BUILDING AMENDED TO BALFZ FOR EAST
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2	30.09.20	CLIENT/CONSULTANT ISSUE
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Issue	Date	Amendment

## POREBSKIARCHITECTS

Project: PROPOSED ALTERATIONS AT SOUTHERN ALPS SKI CLUB LODGE 4 SPENCERS CREEK ROAD CHARLOTTE PASS LOT 107 DP 1242013

FOR: SOUTHERN ALPS SKI CLUB

GROUND/ENTRY FLOOR PLAN



POREBSKIARCHITECTS Pty Ltd

Nominated Architect Alex Heyko-Porebski (NSW 6877, ARBV 17667,BOAQ 5533)

97 Rose Street Chippendale NSW 2008 Tel (02) 9310 1234 Fax (02) 9310 1266

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Scale 1:100/

 1:200 AT A3

 Project Architect
 Date

 AHP
 SEPT 2020

 Drawn
 Checked

 AHP
 AHP

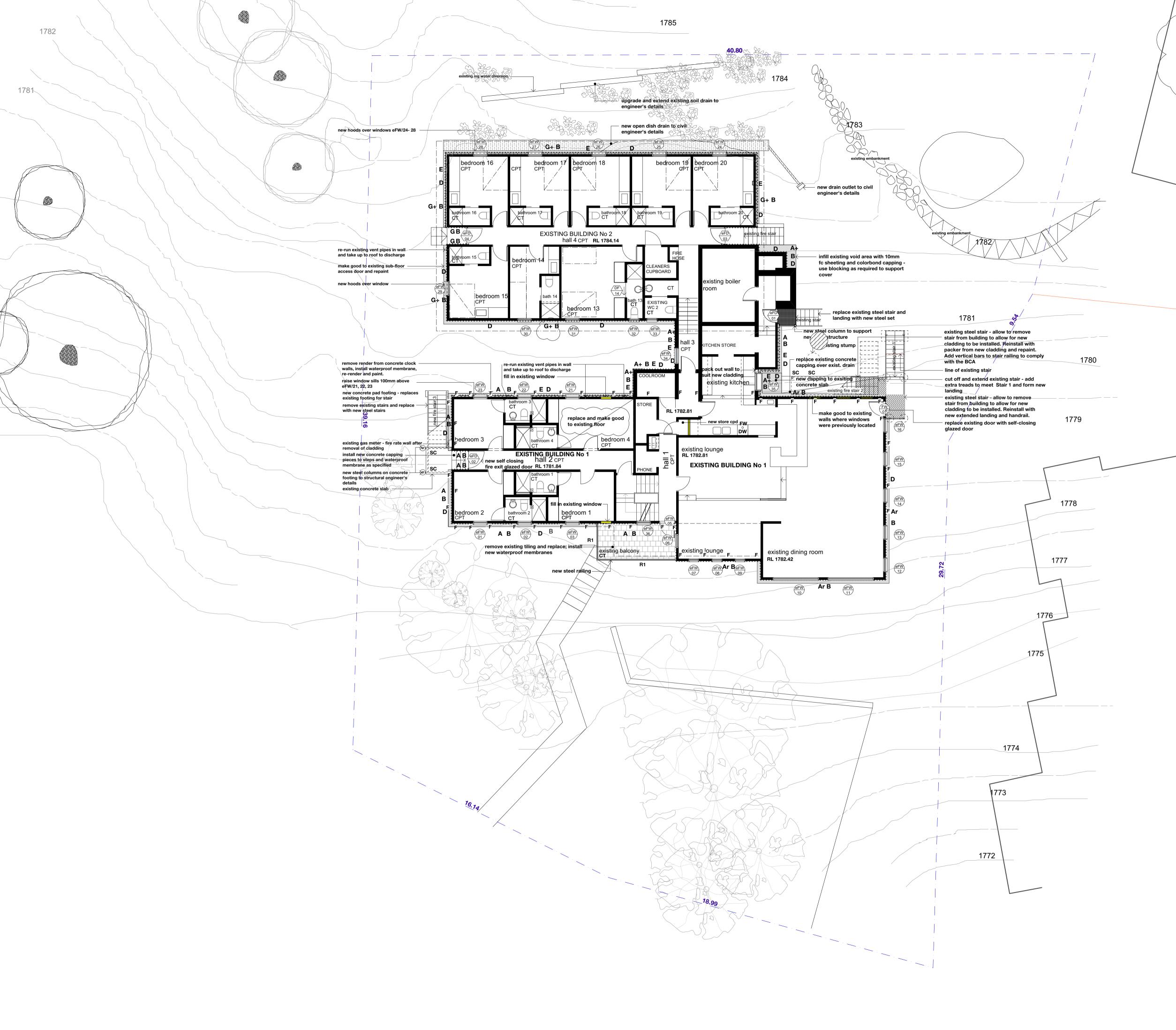
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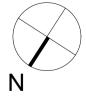
1	16.01.22	AMENDED DA: BAL RATING NOTE AMENDED.
н	23.08.22	AMENDED DEVELOPMENT APPLICATION ISSUE: SOIL
		DRAINS ADDED TO SOUTH AREA OF SITE
G	27.06.22	AMENDED DEVELOPMENT APPLICATION ISSUE: BUSHFIRE
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FOR: SOUTHERN ALPS SKI CLUB





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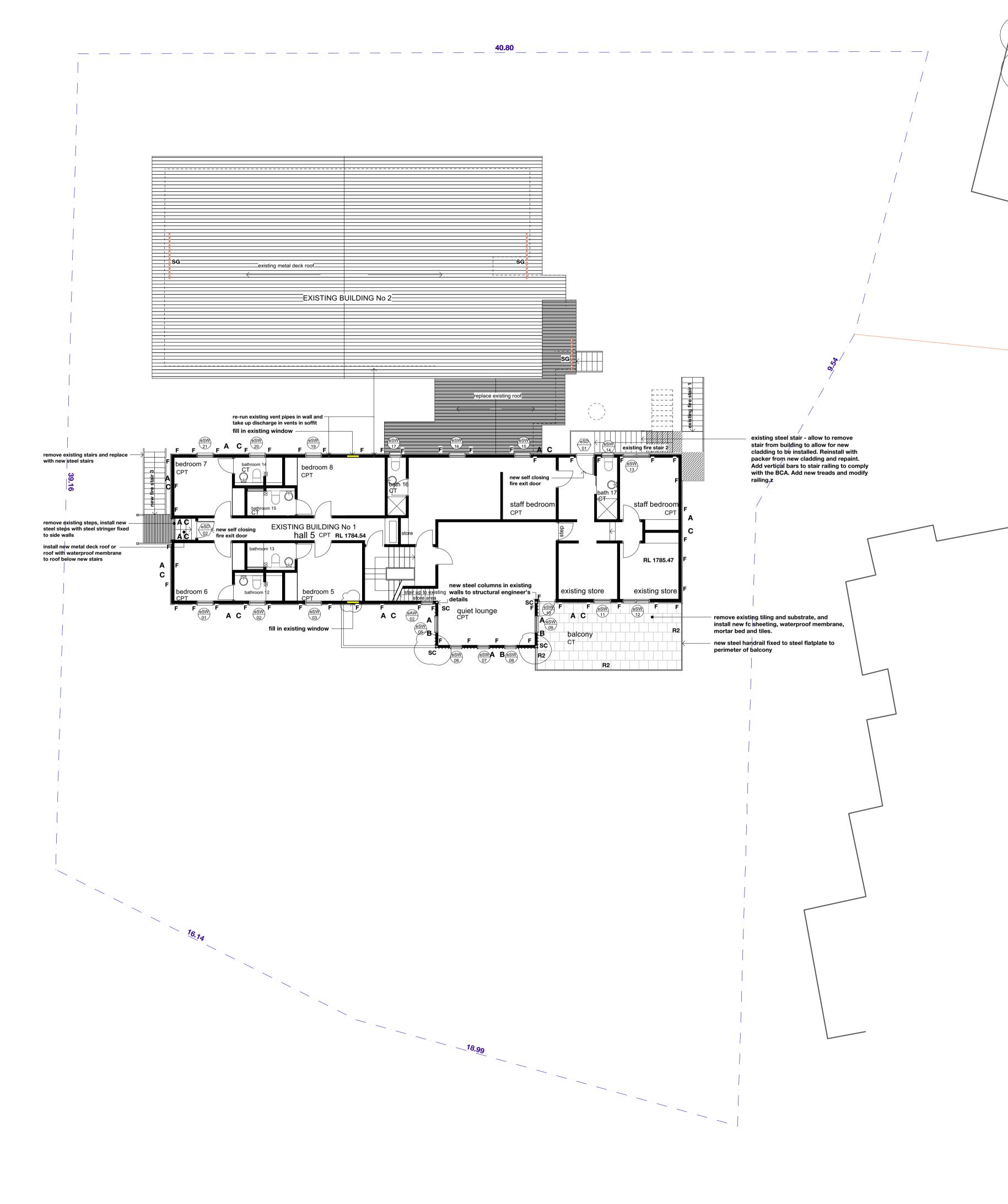
 AHP

AHP	AHI

Drawing No

602.A.03

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BUSHFIRE	RATINO

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LEGEND CO CONCRETE FLOOR

Ļ	СРТ	CARPET
	СТ	TILES
	FB	NEW FASCIA BOARD AND SOFFIT LINING
	<b>Г/СВ</b>	FACE CONCRETE BLOCKWORK
	<b>FEX</b>	EXHAUST FAN (WALL MOUNTED)
	FG	FIXED GLAZING
	FH	FIRE HYDRANT
	MBR	MEMBRANE ROOF
	MCD	METAL CLADDING
	MDR	METAL DECK ROOF
	R1	RAILING TYPE 1
	R2	RAILING TYPE 2
	RCS	REINFORCED CONCRETE SLAB
		TO STRUCTURAL ENGINEER'S DETAILS
	RB	RENDERED MASONRY
	RSP	RENDER SET PLASTER FINISH
	RWS	RETAINING WALL
	SG	SNOW GUARD/RETAINER
	SP	STONE PAVING
	SR	SERVICE RISER
	STC	STONE CLADDING
	TF	TIMBER FLOORING
	W	WASTE PIPE/STACK
	VP	VENT PIPE
	eWF	NEW WINDOW/GLAZED DOOR IN EXISTING
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	!	

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F	03.05.22	DEVELOPMENT APPLICATION ISSUE: NORTHERN
		ELEVATION (BUILDING 2) AND SOUTHERN ELEVATION
		(BUILDING 1) ADDED
E	03.03.22	DEVELOPMENT APPLICATION ISSUE: SCOPE REDUCED -

 03.03.22
 DEVELOPMENT APPLICATION ISSUE: SCOPE REDUCED -BUILDING 2 WINDOWS TO REMAIN AND CLADDING SCOPE REDUCED. STEEL ROOFS OVER STAIRS DELETED.

 06.07.21
 TENDER ISSUE

 24.06.21
 DEVELOPMENT APPLICATION ISSUE: STAGES DELETED, NOTED ADDED

 C
 24.06.21
 DEVELOPMENT APPLICATION ISSUE: STAGES DELETED, NOTES ADDED

 B
 05.03.21
 DEVELOPMENT APPLICATION ISSUE: STAGES INDICATED

 A
 12.11.20
 DEVELOPMENT APPLICATION ISSUE

 2
 30.09.20
 CLIENT/CONSULTANT ISSUE

 1
 25.09.20
 CLIENT/CONSULTANT ISSUE

ssue Date Amendment

POREBSKIARCHITECTS ARCHITECTURE + INTERIORS + HERITAGE

Project: PROPOSED ALTERATIONS AT SOUTHERN ALPS SKI CLUB LODGE 4 SPENCERS CREEK ROAD CHARLOTTE PASS LOT 107 DP 1242013

FOR: SOUTHERN ALPS SKI CLUB Drawing:



POREBSKIARCHITECTS Pty Ltd

Nominated Architect Alex Heyko-Porebski (NSW 6877, ARBV 17667, BOAQ 5533)

97 Rose Street Chippendale NSW 2008 Tel (02) 9310 1234 Fax (02) 9310 1266

Builders Contractors shall verify job dimensions before any work commences. All shop drawings shall be submitted to the Architect and manufacture shall not commence prior to the return of amended shop drawings. The Builder and Contractors shall coordinate all services prior to construction to ensure the order of installation and that aufficient processi construction to ensure the order of installation and that sufficient space will be allowed for, for all services and structure. Refer to figured dimensions only. Do not scale from this drawing.

#### Scale 1:100/

1:200 AT A3 Project Architect Date SEPT 2020 AHP Checked Drawn AHP AHP

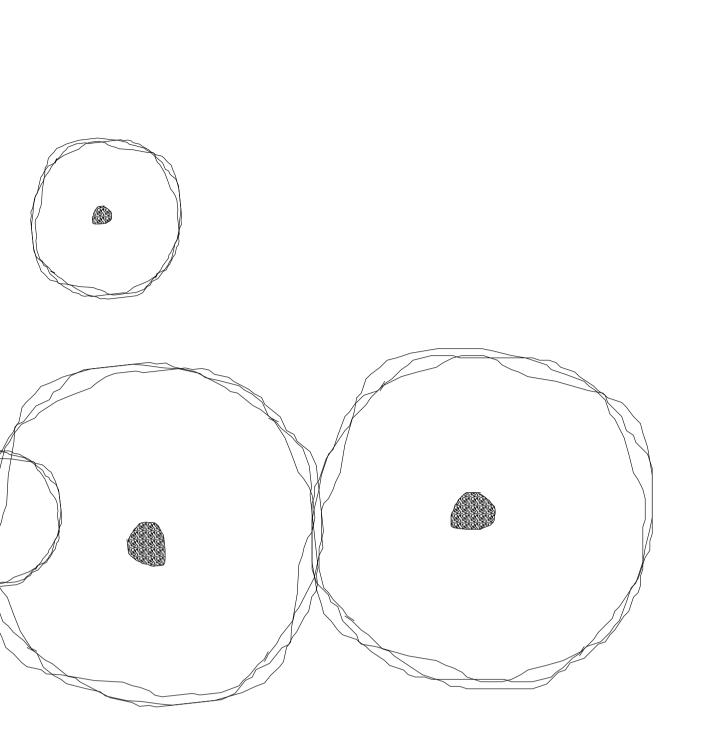
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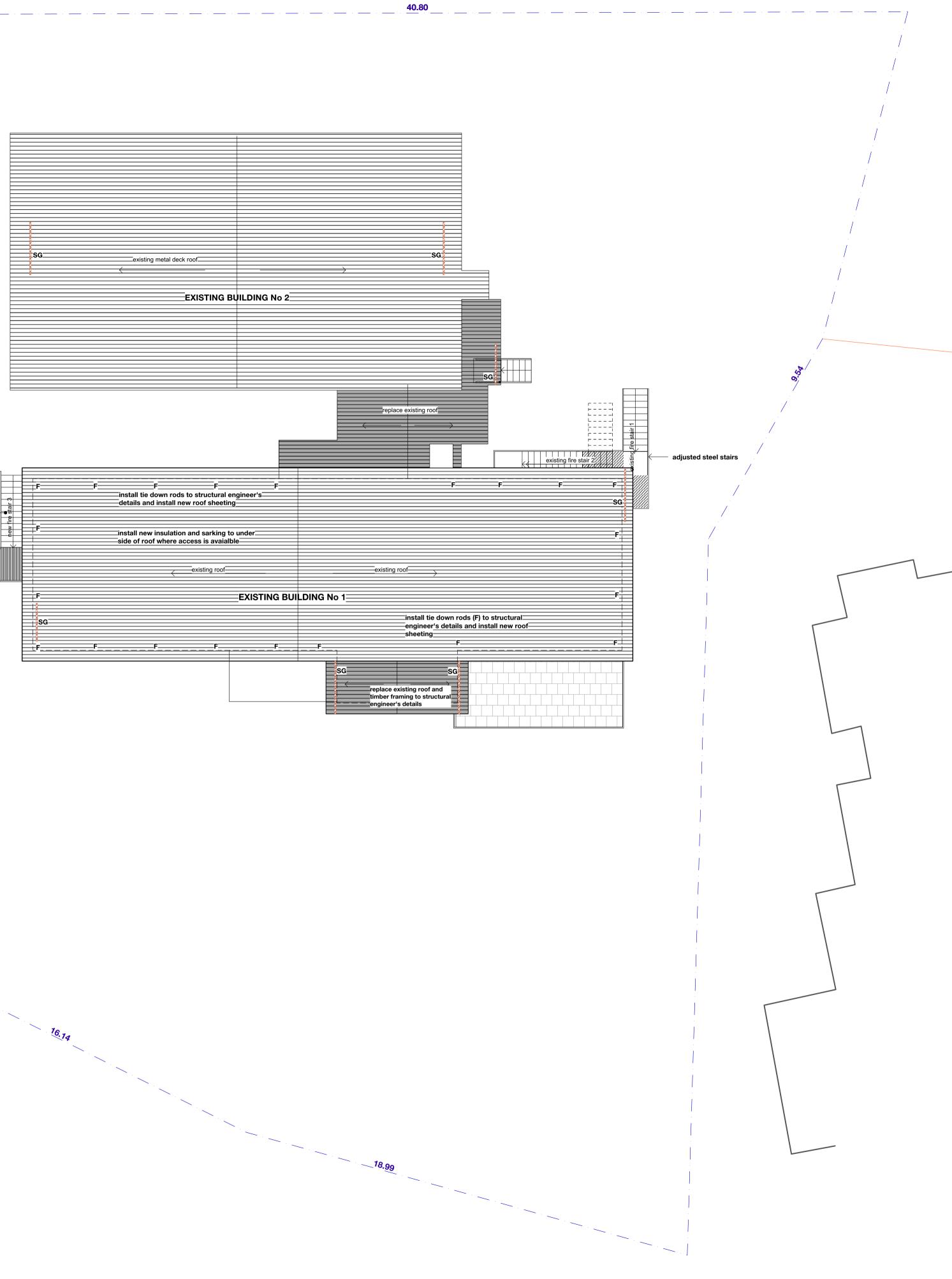
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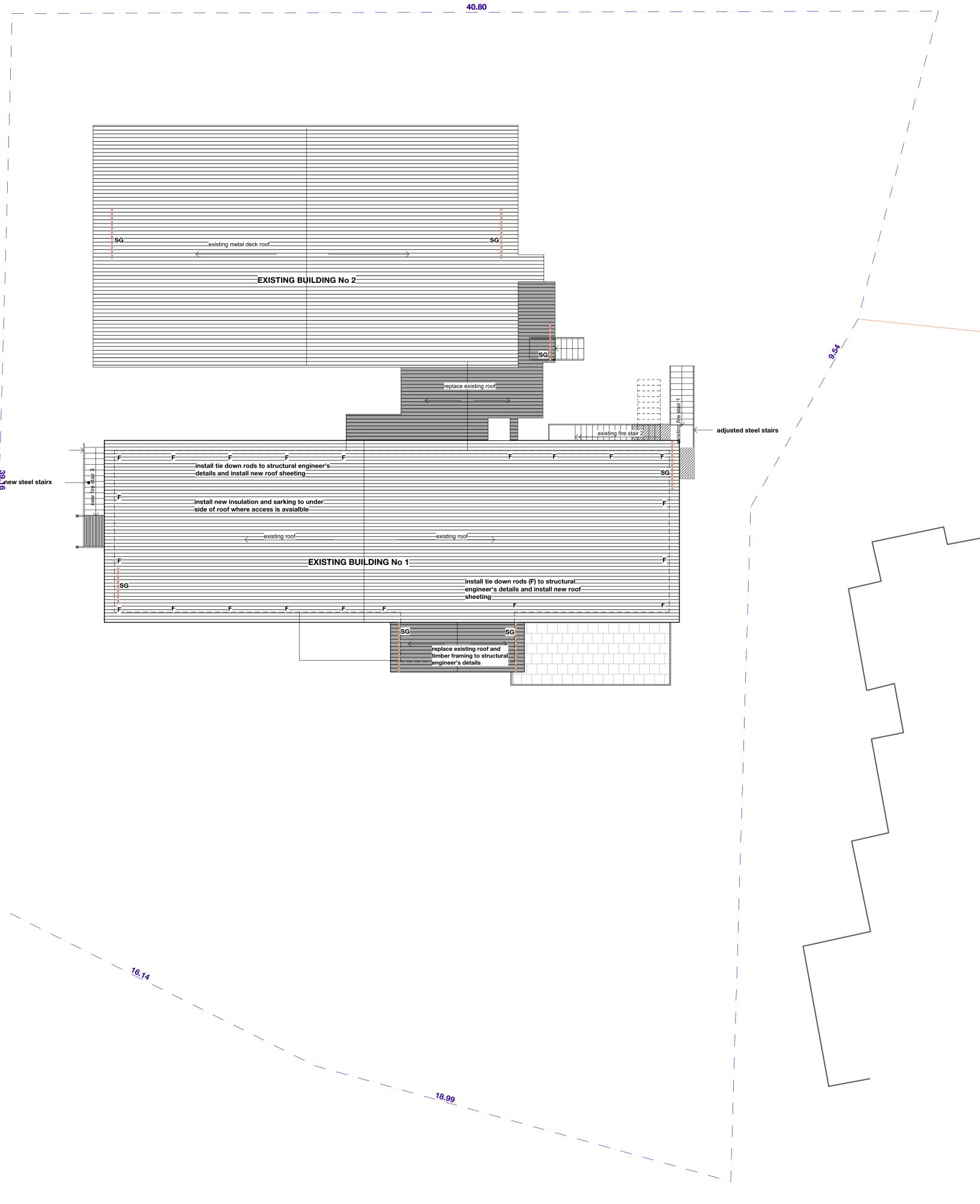
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1. MIN BAL 29 FOR ALL REPLACEMENT WORK FOR CLADDING, WINDOWS, DOORS, ROOF WORK AND BALCONIES. 2. REPLACEMENT WINDOWS WITH OPERABLE PARTS TO BE 3. NEW GLAZED DOORS TO THE NORTH AND WEST ELEVATIONS TO ACHIEVE BAL 29 RATING. 4. NEW ROOF OVER QUIET LOUNGE ROOF AND KITCHEN AREA TO **BE CONSTRUCTED TO BAL 29.** 5. ALL NEW WORK OR WORK THAT MODIFIES OPENINGS TO BE BUILT TO BAL FZ. 6. REFER TO AS1530.8:2018 AND AS1530.8.2:2018 FOR

WORKMANSHIP, PERFORMANCE AND MATERIALS. 7. REFER TO A\$3959:2018 FOR CONSTRUCTION REQUIREMENTS.

LEGEND

CO CONCRETE FLOOR

СРТ	CARPET
ст	TILES
FB	NEW FASCIA BOARD AND SOFFIT LINING
<b>Г/СВ</b>	FACE CONCRETE BLOCKWORK
<b>FEX</b>	EXHAUST FAN (WALL MOUNTED)
FG	FIXED GLAZING
FH	FIRE HYDRANT
MBR	MEMBRANE ROOF
MCD	METAL CLADDING
MDR	METAL DECK ROOF
R1	RAILING TYPE 1
R2	RAILING TYPE 2
RCS	REINFORCED CONCRETE SLAB
	TO STRUCTURAL ENGINEER'S DETAILS
RB	RENDERED MASONRY
RSP	
RWS	
SG	SNOW GUARD/RETAINER
SP	STONE PAVING
SR	SERVICE RISER
	STONE CLADDING
TF	TIMBER FLOORING
W	
VP	VENT PIPE
	NEW WINDOW/GLAZED DOOR IN EXISTING OPENING
WF 00	NEW GLAZED DOOR IN EXISTING DOOR OPENING
	NEW DOOR IN EXISTING OPENING

85.15 NEW SPOT LEVEL

45.15 EXISTING SPOT LEVEL

WALL NOTES:

A. EXISTING STUD WALL: REMOVE EXISTING CLADDING AND SUBSTRATE INCLUDING INSULATION, AND INSTALL NEW METAL CLADDING, 25 X 50 FIXING BATTENS, INSULATION AND SARKING Ar. EXISTING STUD WALL: REMOVE EXISTING CLADDING AND

SUBSTRATE AND REVIEW CONDITION OF INSULATION AND SARKING, AND INSTALL NEW METAL CLADDING, 25 X 50 FIXING BATTENS, INSULATION AND SARKING A+. EXISTING MASONRY WALL: REMOVE EXISTING CLADDING AND SUBSTRATE AND INSTALL NEW METAL TOP HAT

BATTENS, SARKING, AND METAL CLADDING. B. TYPE A CLADDING AS SPECIFIED

C. TYPE B CLADDING AS SPECIFIED

D. REMOVE EXISTING CAPPING FROM TOP OF WALL AND REPLACE WITH NEW COLORBOND IN SPECIFIED COLOUR (INSTALL CAPPING IF NONE IN PLACE) E. INSTALL INSULATED WALL PANEL TO WALL BEHIND NEW

CLADDING (LOWER SECTION ONLY IF TWO TYPES OF CLADDING)

F. ROOF TIE DOWNS TO STRUCTURAL ENGINEER'S DETAILS G. REMOVE LOWER SECTION OF TIMBER CLADDING AND SARKING AND INSTALL NEW METAL TOP HATS. SARKING AND METAL CLADDING. REPAINT EXISTING TIMBER CLADDING THAT IS TO REMAIN.

**BCA SECTION J NOTES** 

1. NEW ROOF AND CEILING CONSTRUCTION: INSTALL INSULATION TO PROVIDE A COMBINED ROOF AND CEILING SYSTEM WITH TOTAL THERMAL RESISTANCE OF R 4.8 PART

J1.1(a). 2. MODIFIED EXTERNAL WALLS: INSTALL ADDITIONAL INSULATION TO PROVIDE A WALL SYSTEM WITH A TOTAL THERMAL RESISTANCE OF R 2.0. PART J1.5(a) AND J1.5(d). ALL INSULATION MUST COMPLY WITH AS/NZS 4859.1:2018. 3. FOR NEW WINDOWS: INSTALL WINDOWS WITH A TOTAL

SYSTEM U-VALUE NO MORE THAN 4.6 W/m2 AND SHGC OF NO MORE THAN 0.74. PART J1.5(c). 4. FOR ALL NEW OPENABLE WINDOWS AND DOORS (EXCEPT FOR FIRE DOORS) PROVIDE AIR SEALS ON ALL EDGES OR

WINDOWS COMPLYING WITH AS 2047. PART J3.4)a,b,c) 5. FOR NEW EXTERNAL DOORS PROVIDE DRAFT PROTECTION TO THE BOTTOM AND AIR SEALS TO OTHER EDGES. PART

J3.4(c) 6. NEW EXHAUST FANS MUST BE EQUIPPED WITH SELF CLOSING DAMPER OR SIMILAR. 7. NEW ROOFS, CEILINGS, WALLS, WINDOW AND DOOR

FRAMES MUST BE ENCLOSED BY INTERNAL LINING SYSTEMS THAT ARE CLOSE FITTING AT CEILING, WALL AND FLOOF JUNCTIONS OR BE SEALED AT JUNCTIONS AND PENETRATIONS BY CLOSE FITTING ARCHITRAVE, SKIRTING, CORNICE, EXPANDING FOAM, RUBBER COMPRESSIBLE STRIP, CAULKING OR THE LIKE. THESE REQUIREMENTS DO NOT APPLY TO OPENINGS, GRILLES OR THE LIKE REQUIRED FOR SMOKE HAZARD MANAGEMENT.

н	16.01.23	AMENDED DA: BAL RATING NOTE AMENDED - BAL RATIN
	07.00.00	REDUCED.
G	27.06.22	AMENDED DEVELOPMENT APPLICATION ISSUE: BUSHFIR
		RATING FOR BUILDING AMENDED TO BALFZ FOR EAST
		FACADE AND SOUTH FACADE OF BUILDING 2.
F	03.05.22	DEVELOPMENT APPLICATION ISSUE: NORTHERN
		ELEVATION (BUILDING 2) AND SOUTHERN ELEVATION
		(BUILDING 1) ADDED
F	03 03 22	DEVELOPMENT APPLICATION ISSUE: SCOPE REDUCED -

E 03.03.22 DEVELOPMENT APPLICATION ISSUE: SCOPE REDUCED -BUILDING 2 WINDOWS TO REMAIN AND CLADDING SCOPE REDUCED. STEEL ROOFS OVER STAIRS DELETED. D 06.07.21 TENDER ISSUE

;	С	24.06.21	DEVELOPMENT APPLICATION ISSUE: STAGES DELETED,
1			NOTES ADDED
i	в	05.03.21	DEVELOPMENT APPLICATION ISSUE: STAGES INDICATED
÷	•	10 11 00	DEVELOPMENT ADDITION TON TON

A 12.11.20 DEVELOPMENT APPLICATION 2 30.09.20 CLIENT/CONSULTANT ISSUE 1 25.09.20 CLIENT/CONSULTANT ISSUE Issue Date Amendment

### **POREBSKI**ARCHITECTS ARCHITECTURE + INTERIORS + HERITAGE

Project: PROPOSED ALTERATIONS AT SOUTHERN ALPS SKI CLUB LODGE 4 SPENCERS CREEK ROAD CHARLOTTE PASS LOT 107 DP 1242013

FOR: SOUTHERN ALPS SKI CLUB Drawing:

**ROOF PLAN** 

POREBSKIARCHITECTS Pty Ltd

Nominated Architect Alex Heyko-Porebski (NSW 6877, ARBV 17667, BOAQ 5533)

97 Rose Street Chippendale NSW 2008 Tel (02) 9310 1234 Fax (02) 9310 1266

Builders Contractors shall verify job dimensions before any work commences. All shop drawings shall be submitted to the Architect and manufacture shall not commence prior to the return of amended shop drawings. The Builder and Contractors shall coordinate all services prior to construction to ensure the order of installation and that sufficient space will be allowed for, for all services and structure. Refer to figured dimensions only. Do not scale from this drawing.

Scale 1:100/

1:200 AT A3

Project Architect Date SEPT 2020 AHP Checked Drawn AHP AHP

Issue

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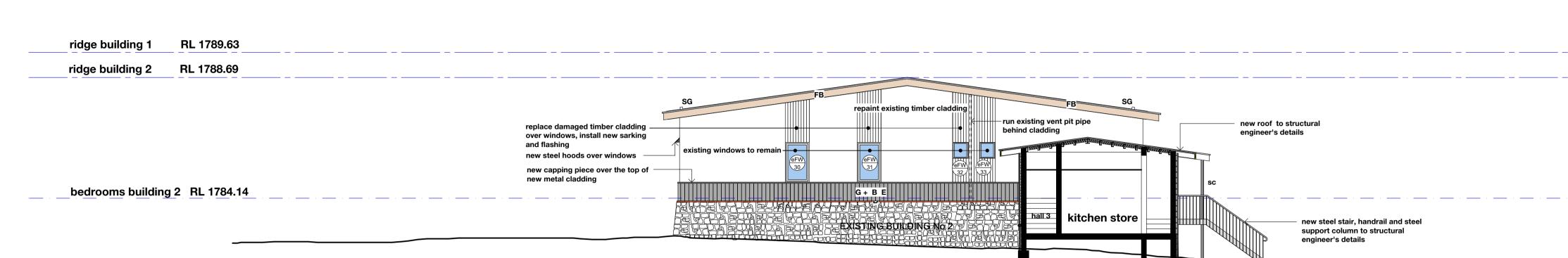
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0 <u>1m 2m 3m 4</u>m 5m

ridge building 1 R	_ 1789.63	
ridge building 2	. 1788.69	
bedrooms building 2	RL 1784.14	EXISTING BUILDING No 1

## **SOUTHERN ELEVATION (BUILDING 2)**



### **NORTHERN ELEVATION (BUILDING 2)**

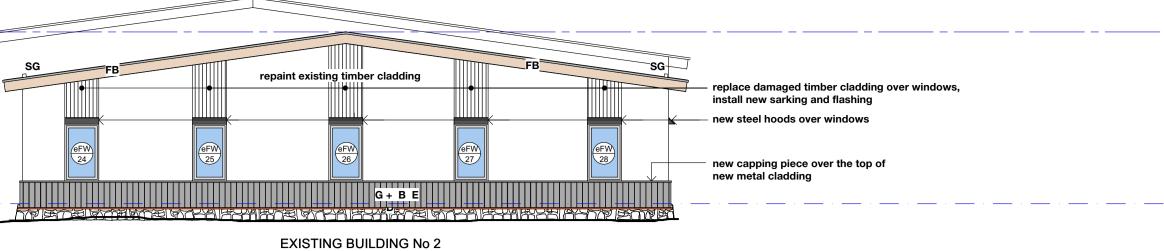
ridge building 1 RL 1789.63		
store rooms		SG FB
upper lounge RL 1785.77		
staff bedroom RL 1785.47 upper bedrooms RL 1784.54 bedrooms building 2 RL 1784.14	extend existing stair to join lower stair to end with one stair section	
lounge room RL 1782.81	existing steel stair - allow to remove	new colorbond capping to concrete shelf
dining room RL 1782.42 bedrooms RL 1781.84		
		₩ <u></u> ₩IJ  ' '
entry RL 1779.75		

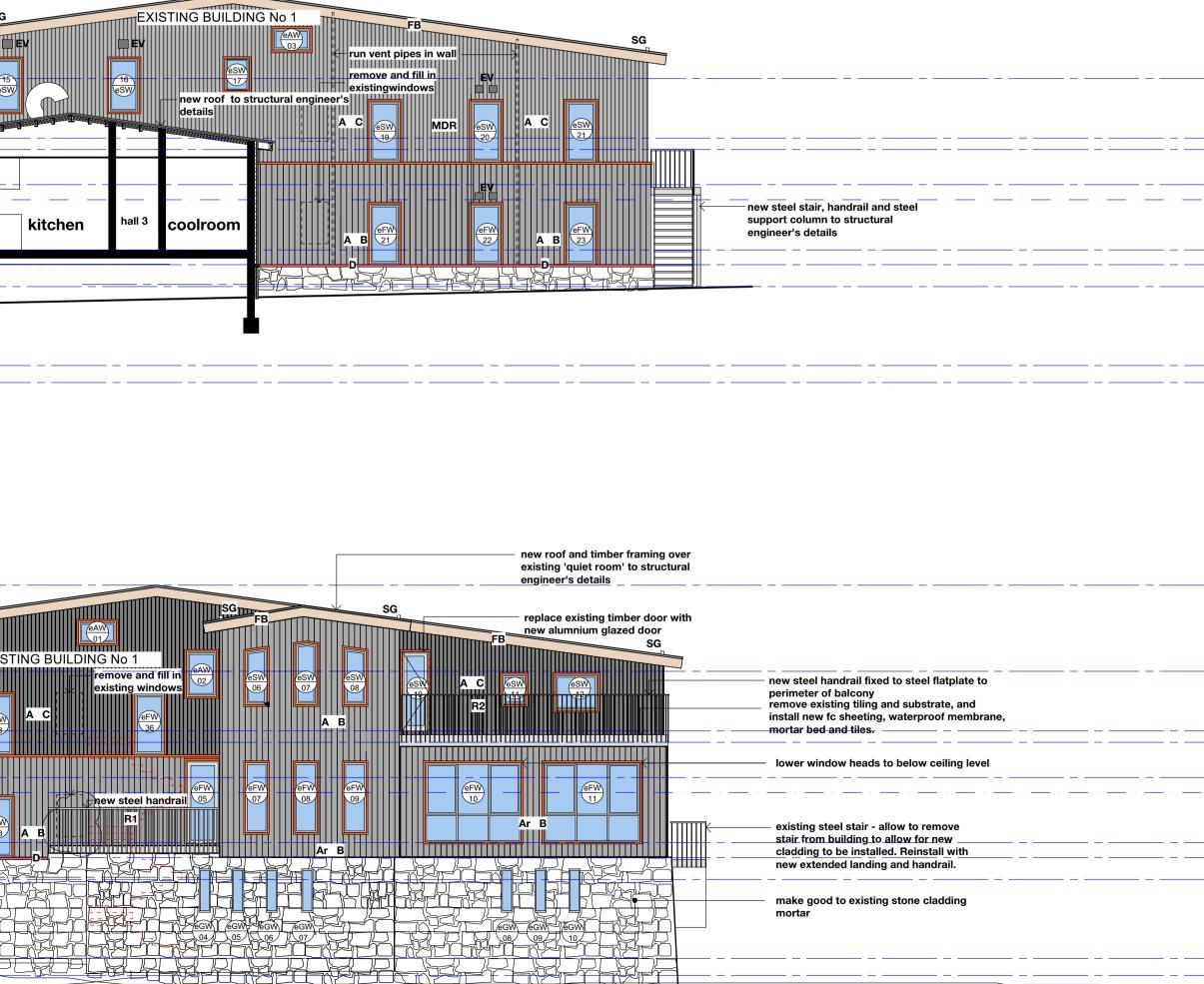
store room RL 1779.30

SOUTHERN ELEVATION (BUILDING 1)

ridge building 1RL 1789.63	
store rooms RL 1787.35	SG
upper lounge RL 1785.77	
staff bedroom RL 1785.47	
upper bedrooms RL 1784.54	new steel stair, handrail and steel ———————————————————————————————————
bedrooms building 2 RL 1784.14	support column to structural
lounge room _RL 1782.81	
bedrooms RL 1781.84	
	existing concrete pad footing
entry RL 1779.75	
store room RL 1779.30	

### **NORTHERN ELEVATION (BUILDING 1)**





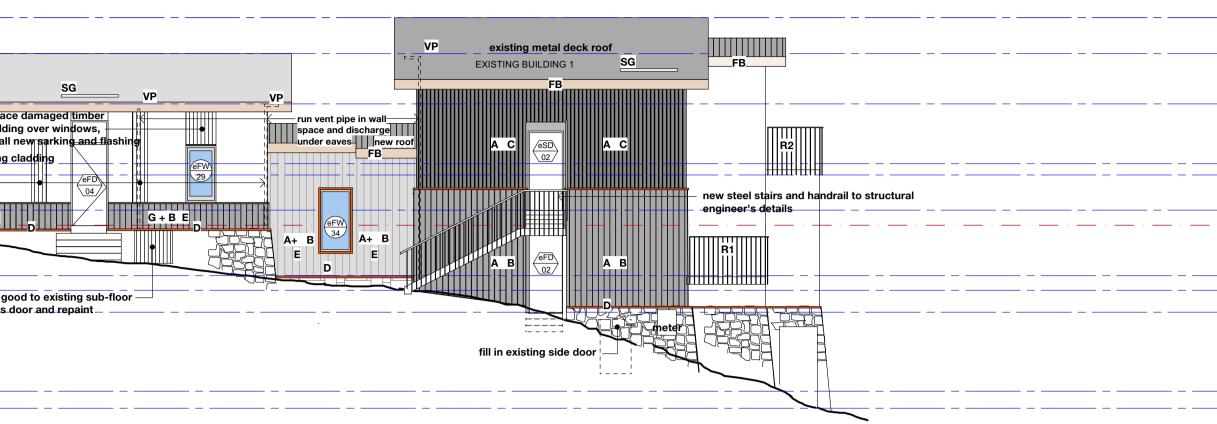
	$\frown$		
	BUSHFIRE RATING 1. MIN BAL 29 FOR ALL REPLACEMENT WORK FOR CLADDING.	LEGEN CO	D CONCRETE FLOOR
	WINDOWS, DOORS, ROOF WORK AND BALCONIES. 2. REPLACEMENT WINDOWS WITH OPERABLE PARTS TO BE SCREENED.	СРТ СТ	CARPET TILES
$\geq$	3. NEW GLAZED DOORS TO THE NORTH AND WEST ELEVATIONS TO ACHIEVE BAL 29 RATING. 4. NEW ROOF OVER QUIET LOUNGE ROOF AND KITCHEN AREA TO	FB FCB FEX	NEW FASCIA BOARD AND SOFFIT LINING FACE CONCRETE BLOCKWORK EXHAUST FAN (WALL MOUNTED)
	BE CONSTRUCTED TO BAL 29. 5. ALL NEW WORK OR WORK THAT MODIFIES OPENINGS TO BE BUILT TO BAL FZ.	FG FH	FIXED GLAZING FIRE HYDRANT
	6. REFER TO AS1530.8:2018 AND AS1530.8.2:2018 FOR WORKMANSHIP, PERFORMANCE AND MATERIALS. 7. REFER TO AS3959:2018 FOR CONSTRUCTION REQUIREMENTS.	MBR MCD	MEMBRANE ROOF METAL CLADDING
		MDR R1 R2	METAL DECK ROOF RAILING TYPE 1 RAILING TYPE 2
		RCS	REINFORCED CONCRETE SLAB TO STRUCTURAL ENGINEER'S DETAILS
		RB RSP	RENDERED MASONRY RENDER SET PLASTER FINISH
		RWS SG SP	RETAINING WALL SNOW GUARD/RETAINER STONE PAVING
		SR STC	SERVICE RISER STONE CLADDING
		TF W VP	TIMBER FLOORING WASTE PIPE/STACK VENT PIPE
			NEW WINDOW/GLAZED DOOR IN EXISTING OPENING
			NEW GLAZED DOOR IN EXISTING DOOR OPENING
			NEW DOOR IN EXISTING OPENING
		85.15 85. <sup>15</sup>	NEW SPOT LEVEL EXISTING SPOT LEVEL
		WALL NO	TEQ.
			TING STUD WALL: REMOVE EXISTING CLADDING AND
		•	ATE INCLUDING INSULATION, AND INSTALL NEW LADDING, 25 X 50 FIXING BATTENS, INSULATION KING
		SUBSTR	ING STUD WALL: REMOVE EXISTING CLADDING AND ATE AND REVIEW CONDITION OF INSULATION AND AND INSTALL NEW METAL CLADDING 25 YES
· ·		FIXING B	a, AND INSTALL NEW METAL CLADDING, 25 X 50 ATTENS, INSULATION AND SARKING FING MASONRY WALL: REMOVE EXISTING CLADDING
		BATTENS	STRATE AND INSTALL NEW METAL TOP HAT 5, SARKING, AND METAL CLADDING. A CLADDING AS SPECIFIED
		C. TYPE D. REM	B CLADDING AS SPECIFIED DVE EXISTING CAPPING FROM TOP OF WALL AND WITH NEW COLORBOND IN SPECIFIED COLOUR
		(INSTALL E. INST	CAPPING IF NONE IN PLACE) ALL INSULATED WALL PANEL TO WALL BEHIND NEW
		CLADDIN	G (LOWER SECTION ONLY IF TWO TYPES OF G) F TIE DOWNS TO STRUCTURAL ENGINEER'S DETAILS
		SARKING	OVE LOWER SECTION OF TIMBER CLADDING AND AND INSTALL NEW METAL TOP HATS. SARKING AL CLADDING. REPAINT EXISTING TIMBER
		CLADDIN	G THAT IS TO REMAIN.
		1. NEW RO	IOF AND CEILING CONSTRUCTION: INSTALL NOT OP ROVIDE A COMBINED ROOF AND CEILING /ITH TOTAL THERMAL RESISTANCE OF R 4.8 PART
		J1.1(a). 2. MODIFII	ED EXTERNAL WALLS: INSTALL ADDITIONAL DN TO PROVIDE A WALL SYSTEM WITH A TOTAL
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		SYSTEM L MORE TH	-VALUE NO MORE THAN 4.6 W/m2 AND SHGC OF NO AN 0.74. PART J1.5(c). L NEW OPENABLE WINDOWS AND DOORS (EXCEPT
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		TO THE BO J3.4(c)	DTTOM AND AIR SEALS TO OTHER EDGES. PART
		CLOSING 7. NEW RC	DAMPER OR SIMILAR. DOFS, CEILINGS, WALLS, WINDOW AND DOOR MUST BE ENCLOSED BY INTERNAL LINING SYSTEMS
		JUNCTION	CLOSE FITTING AT CEILING, WALL AND FLOOR IS OR BE SEALED AT JUNCTIONS AND FIONS BY CLOSE FITTING ARCHITRAVE, SKIRTING,
		CAULKING	EXPANDING FOAM, RUBBER COMPRESSIBLE STRIP, OR THE LIKE. THESE REQUIREMENTS DO NOT OPENINGS, GRILLES OR THE LIKE REQUIRED FOR
			AZARD MANAGEMENT.
			1.23       AMENDED DA: BAL RATING NOTE AMENDED - BAL RATING REDUCED.         6.22       AMENDED DEVELOPMENT APPLICATION ISSUE: BUSHFIRE RATING FOR BUILDING AMENDED TO BALFZ FOR EAST
		F 03.0	FACADE AND SOUTH FACADE OF BUILDING 2. 5.22 DEVELOPMENT APPLICATION ISSUE: NORTHERN ELEVATION (BUILDING 2) AND SOUTHERN ELEVATION (BUILDING 1) ADDED
			3.22 DEVELOPMENT APPLICATION ISSUE: SCOPE REDUCED - BUILDING 2 WINDOWS TO REMAIN AND CLADDING SCOPE REDUCED. STEEL ROOFS OVER STAIRS DELETED.
		в 05.0	6.21 DEVELOPMENT APPLICATION ISSUE: STAGES DELETED, NOTES ADDED 3.21 DEVELOPMENT APPLICATION ISSUE: STAGES INDICATED
		2 30.0 1 25.0	1.20 DEVELOPMENT APPLICATION ISSUE 9.20 CLIENT/CONSULTANT ISSUE 9.20 CLIENT/CONSULTANT ISSUE
		issue Dat	e Amendment EBSKIARCHITECTS
			ED ALTERATIONS AT
		4 SPE	NCERS CREEK ROAD
		-	RLOTTE PASS DP 1242013
		FOR: SO	UTHERN ALPS SKI CLUB
		Drawing:	
			HERN ELEVATION
			KIARCHITECTS Pty Ltd
		-	orebski (NSW 6877, ARBV 17667,BOAQ 5533)
		Tel (02) 931 Builders Con	eet Chippendale NSW 2008 0 1234 Fax (02) 9310 1266 ractors shall verify job dimensions before any work
		commences. manufacture drawings. The	All shop drawings shall be submitted to the Architect and shall not commence prior to the return of amended shop e Builder and Contractors shall coordinate all services prior to to ensure the order of installation and that sufficient space will
		be allowed fo only. Do not s	to ensure the order of installation and that sufficient space will r, for all services and structure. Refer to figured dimensions cale from this drawing.
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		AHP	SEPT 2020
		Drawn AHP	Checked AHP
		Drawing No	Issue
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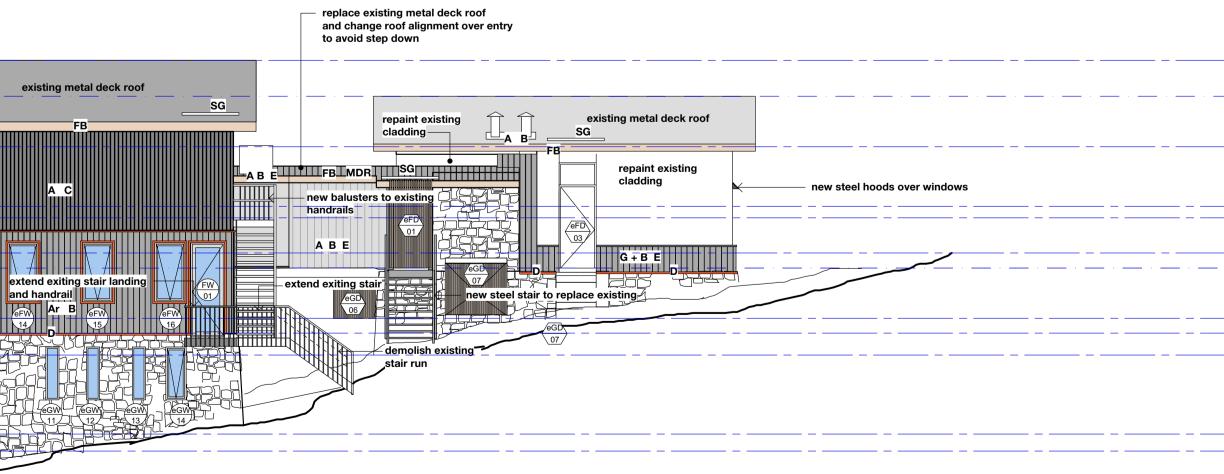
ridge building 1	RL 1789.63		
ridge building 2	RL 1788.69		
		new steel hoods over windows	FB repla clado insta repaint existing
bedrooms building 2	RL 1784.14	make good to existing cladding and where vent pipes need to be relocated behind timber cladding	G + B E
			make g

EASTERN ELEVATION

ridge building 1 RL 1789.63 demolish existing roof and replace with \_\_\_\_\_ new timber framing to strutcural \_\_\_\_\_ engineer's details and new metal deck roof FB АВ <u>RL 1787.35</u> store rooms esw 09 new steel handrail fixed to steel flatplate to— perimeter of balcony RL 1785.77 remove existing tiling and substrate, and instal<del>l new fc sheeting, waterp</del>roof membrane, — mortar bed and tiles. upper lounge staff bedroom RL 1785.47 upper bedrooms RL 1784.54 bedrooms building 2 RL 1784.14 lounge roomRL 1782.81dining roomRL 1782.42bedroomsRL 1781.84 RL 1779.75 entry store room RL 1779.30

WESTERN ELEVATION





	LEGEND
BUSHFIRE RATING 1. MIN BAL 29 FOR ALL REPLACEMENT WORK FOR CLADDING, WINDOWS, DOORS, ROOF WORK AND BALCONIES.	CO CONCRETE FLOOR CPT CARPET
2. REPLACEMENT WINDOWS WITH OPERABLE PARTS TO BE SCREENED. 3. NEW GLAZED DOORS TO THE NORTH AND WEST ELEVATIONS TO	CT TILES FB NEW FASCIA BOARD AND SOFFIT LINING
ACHIEVE BAL 29 RATING. 4. NEW ROOF OVER QUIET LOUNGE ROOF AND KITCHEN AREA TO	FCBFACE CONCRETE BLOCKWORKFEXEXHAUST FAN (WALL MOUNTED)
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	MDR METAL DECK ROOF R1 RAILING TYPE 1
	R2 RAILING TYPE 2 RCS REINFORCED CONCRETE SLAB TO STRUCTURAL ENGINEER'S DETAILS
	RB RENDERED MASONRY RSP RENDER SET PLASTER FINISH
	RWS RETAINING WALL SG SNOW GUARD/RETAINER
	SP STONE PAVING SR SERVICE RISER
	STC STONE CLADDING TF TIMBER FLOORING
store rooms RL 1787.35	W WASTE PIPE/STACK VP VENT PIPE
upper lounge RL 1785.77	NEW WINDOW/GLAZED DOOR IN EXISTING OPENING
	NEW GLAZED DOOR IN EXISTING DOOR OPENING
staff bedroom RL 1785.47 upper bedrooms RL 1784.54	
bedrooms building 2 RL 1784.14	
lounge room RL 1782.81	85.15 NEW SPOT LEVEL
dining room RL 1782.42 bedrooms RL 1781.84	85.10 EXISTING SPOT LEVEL
	WALL NOTES:
	A. EXISTING STUD WALL: REMOVE EXISTING CLADDING AND SUBSTRATE INCLUDING INSULATION, AND INSTALL NEW
entry RL 1779.75	METAL CLADDING, 25 X 50 FIXING BATTENS, INSULATION AND SARKING
store room RL 1779.30	Ar. EXISTING STUD WALL: REMOVE EXISTING CLADDING AND SUBSTRATE AND REVIEW CONDITION OF INSULATION AND SARKING, AND INSTALL NEW METAL CLADDING, 25 X 50
	SARKING, AND INSTALL NEW METAL CLADDING, 25 X 50 FIXING BATTENS, INSULATION AND SARKING A+. EXISTING MASONRY WALL: REMOVE EXISTING CLADDING
	AND SUBSTRATE AND INSTALL NEW METAL TOP HAT BATTENS, SARKING, AND METAL CLADDING.
	B. TYPE A CLADDING AS SPECIFIED C. TYPE B CLADDING AS SPECIFIED
	D. REMOVE EXISTING CAPPING FROM TOP OF WALL AND REPLACE WITH NEW COLORBOND IN SPECIFIED COLOUR (INSTALL CAPPING IF NONE IN PLACE)
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	1 25.09.20 CLIENT/CONSULTANT ISSUE
	<b>POREBSKI</b> ARCHITECTS
ridge building 2 RL 1788.69	
11090 Dulluling 2 RL 1700.09	Project: PROPOSED ALTERATIONS AT
	SOUTHERN ALPS SKI CLUB LODGE
	4 SPENCERS CREEK ROAD CHARLOTTE PASS
	LOT 107 DP 1242013
	FOR: SOUTHERN ALPS SKI CLUB
bedrooms building 2 RL 1784.14	Drawing:
	EASTERN ELEVATION
	WESTERN ELEVATION
	POREBSKIARCHITECTS Pty Ltd Nominated Architect
	Alex Heyko-Porebski (NSW 6877, ARBV 17667,BOAQ 5533)
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	Builders Contractors shall verify job dimensions before any work commences. All shop drawings shall be submitted to the Architect and manufacture shall not commence prior to the return of amended shop
	drawings. The Builder and Contractors shall coordinate all services prior to construction to ensure the order of installation and that sufficient space will be allowed for, for all services and structure. Refer to figured dimensions only. Do act acade from this dowing.
	only. Do not scale from this drawing.
	1:100/ 1:200 AT A3
	Project Architect Date
	AHP SEPT 2020
	Drawn Checked
	Drawing No Issue
0 <u>1m 2m 3m 4</u> m 5m	602.A.07 H